



streetscape elevations.





EAST STREET ELEVATION

1:300

streetscape elevations.



NORTH STREET ELEVATION

1:300



**LOOKING NORTH TO NEW FACILITY
FROM CENTRE SQUARE OF ALBERTON OVAL**



**EXISTING AND NEW FACILITY FROM
WESTERN POCKET OF ALBERTON OVAL**



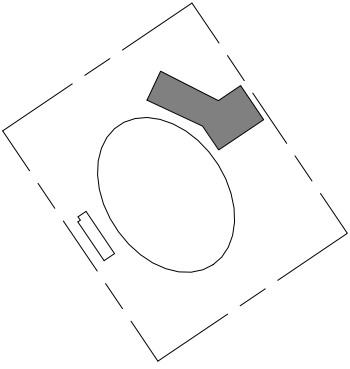
**PLAYERS AND COACHES ENTRY
FROM SEVENTH STREET CAR PARK**



**COMMUNITY ENTRY
FROM SEVENTH STREET**



Key Plan



ALLAN SCOTT HEADQUARTERS UPGRADE

PORT ADELAIDE FOOTBALL CLUB



DEVELOPMENT APPLICATION DRAWING LIST		
Sheet Name	Sheet Number	REV #
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Existing Floor Plan - Level 01	DA201	3
Demolition Floor Plan - Ground	DA210	3
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4	10/05/21	LG	For Development Approval
3	14/12/20	LG	For Information
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description

Client



**Hames
Sharley**
hamessharley.com.au +61 8 8112 3400

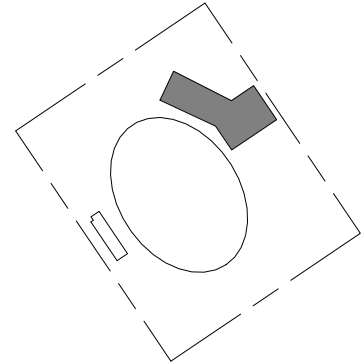
Project
ASHQ

Brougham PI, Alberton SA 5014

Drawing Title
COVER SHEET

Drawn By BS	Checked By LG	Scale @ A1
Project No. 32025	Drawing No. DA001	Revision 4
Status DEVELOPMENT APPROVAL		

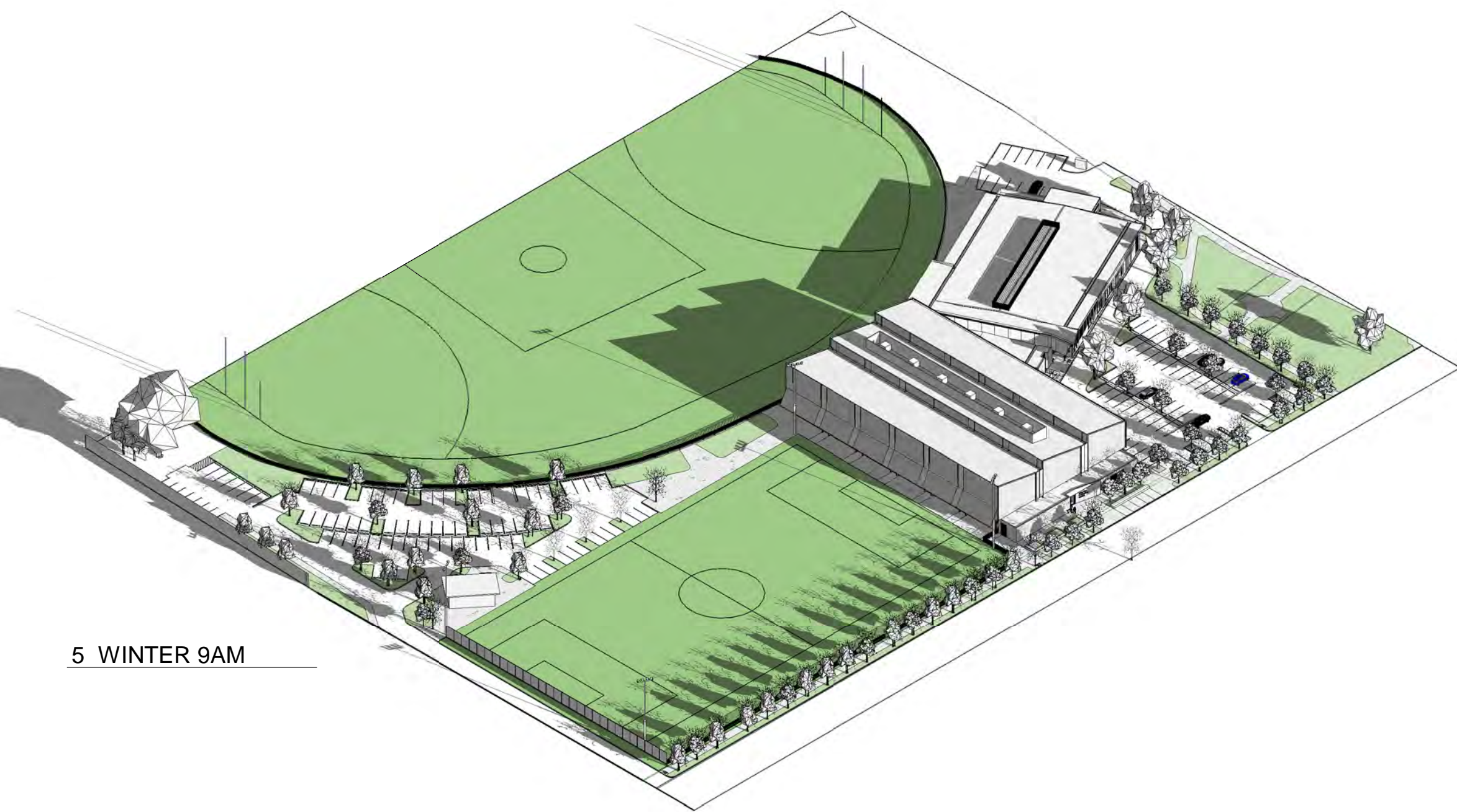
Key Plan



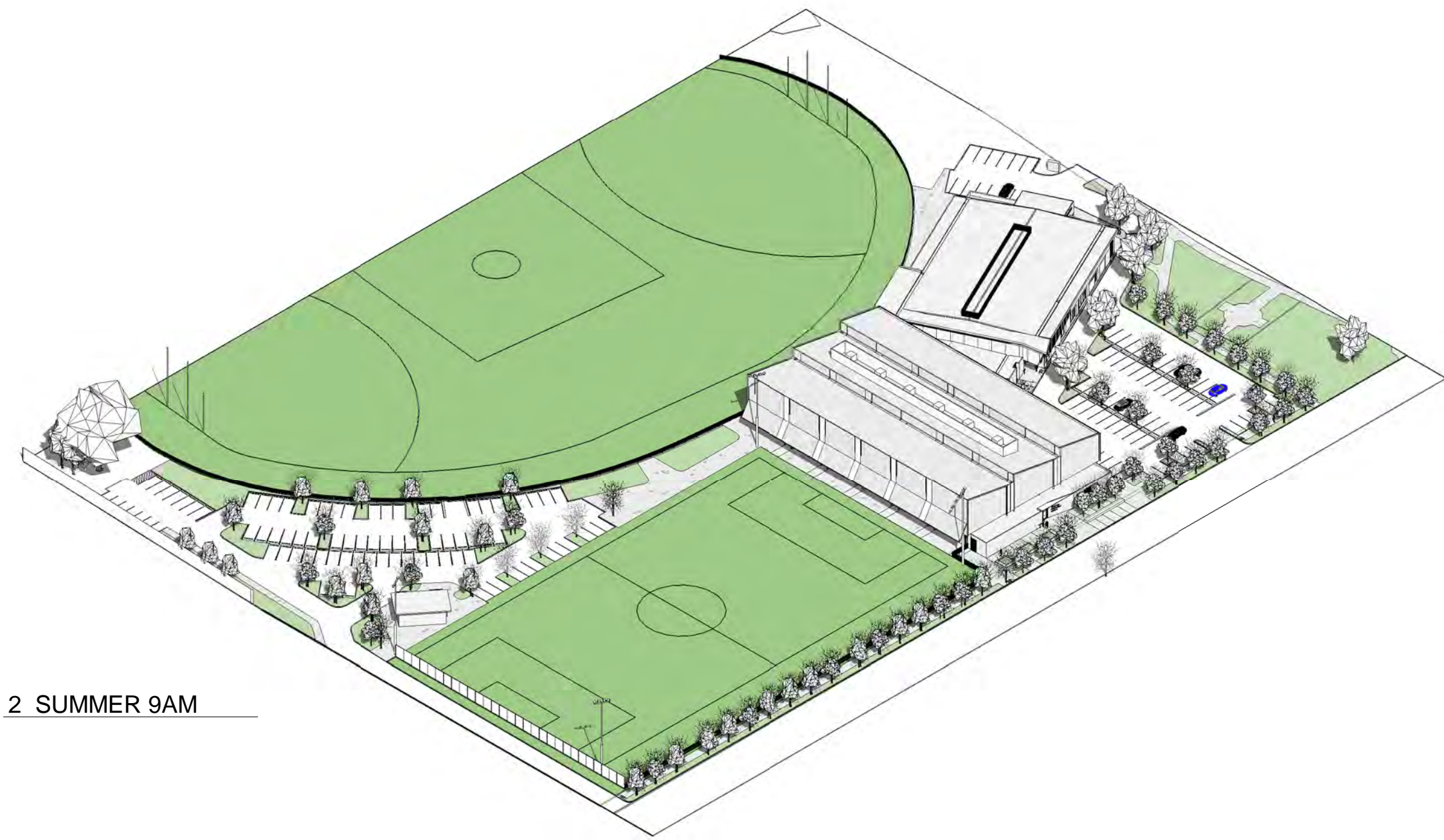
3 SUMMER 12AM



5 WINTER 9AM



2 SUMMER 9AM



6 WINTER 12AM



1 SUMMER 3PM



4 WINTER 3PM



3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



**Hames
Sharley**
hameshsharley.com.au +61 8 8112 3400

Project

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Brougham Pl, Alberton SA 5014

Drawing Title

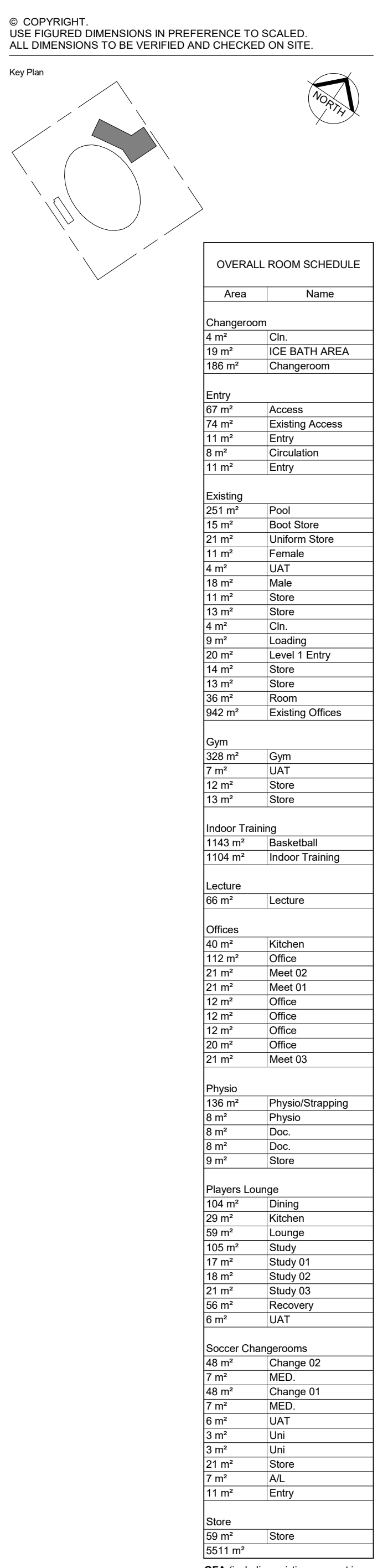
SHADOW DIAGRAMS

Drawn By	Checked By	Scale @
BS	LG	A1

Project No.	Drawing No.	Revision
32025	DA150	3

Status

DEVELOPMENT APPROVAL



Rated Wall and Door
ent Approval
ence Revision
ultants
n
Exit Strategy
Gym/Physio
D's and Survey
n

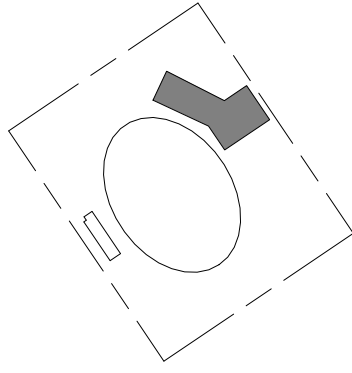
9	01/07/21	LG	Addition of Fire Rated Wall and Door
8	10/05/21	LG	For Development Approval
7	19/02/21	LG	Soccer Pitch Fence Revision
6	08/01/20	LG	Issue to Consultants
5	14/12/20	LG	For Information
4	14/12/20	LG	Revised Fire Exit Strategy
3	14/12/20	LG	Revised Entry/Gym/Physio
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description
Client			



Project
ASHQ
Brougham Pl, Alberton SA 5014

Drawing Title		
FLOOR PLAN PROPOSED		
Drawn By BS	Checked By LG	Scale @ A1 1 : 200
Project No. 32025	Drawing No. DA220	Revision 9
Status DEVELOPMENT APPROVAL		

Key Plan



Demolish



DEMOLITION NOTES

- COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE.
- EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
- ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP FACILITATE NEW BUILDING CONNECTIONS.
- ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
- ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT.
- ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
- EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
- THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE.
- THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
- REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
- UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
- MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
- CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION.
- WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
- FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
- THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
- MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
- PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL.
- WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED.
- ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

TAG	DESCRIPTION
CSP001	KS1000 Trapezoidal Wall Panel, COLORBOND MONUMENT
RFS002	PROFLED PLASTIC ROOF SHEETING (DANPALON ETC)

6	10/05/21	LG	For Development Approval
5	29/04/21	LG	Acoustic Screen
4	08/01/20	LG	Issue to Consultants
3	14/12/20	LG	For Information
2	14/12/20	LG	Revised EntryGymPhysio
1	19/11/20	LG	Aligned to CAD's and Survey

Rev. Date Initial Description

Client



Hames Sharley

hamessharley.com.au +61 8 8112 3400

Project

ASHQ

Brougham Pl, Alberton SA 5014

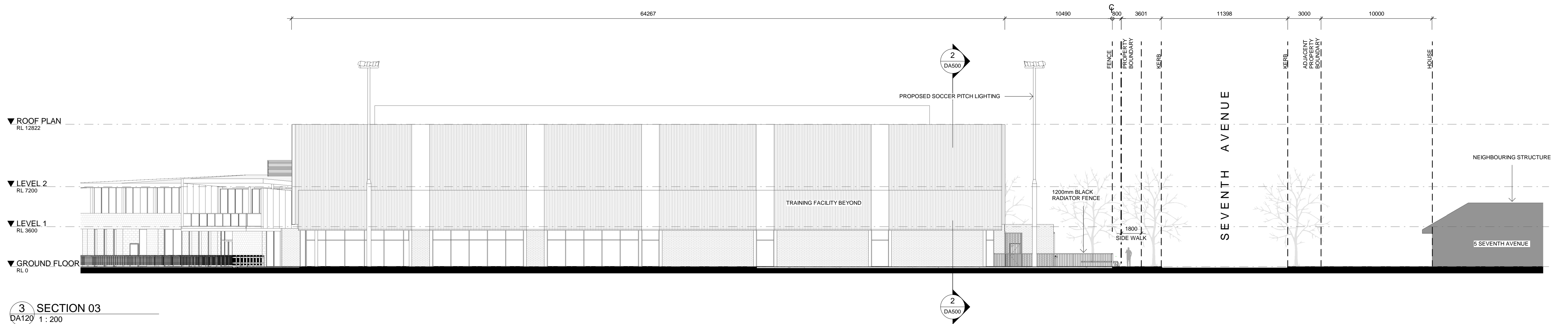
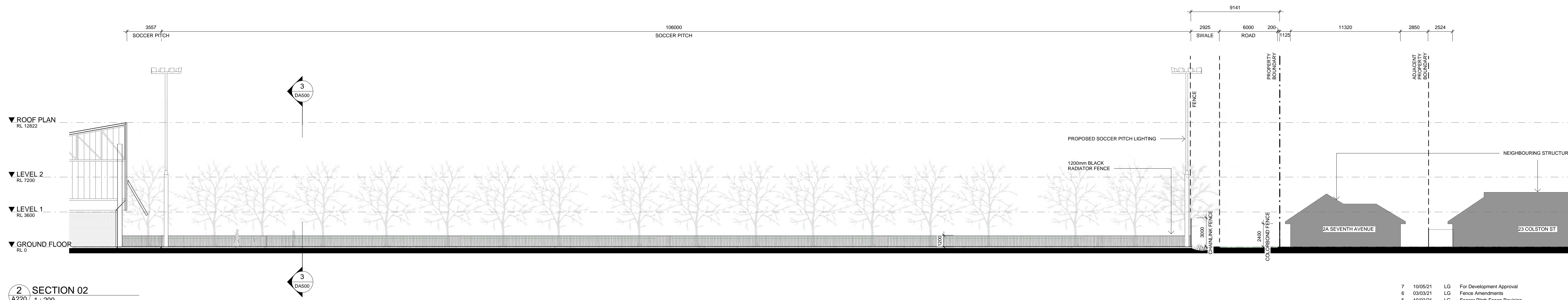
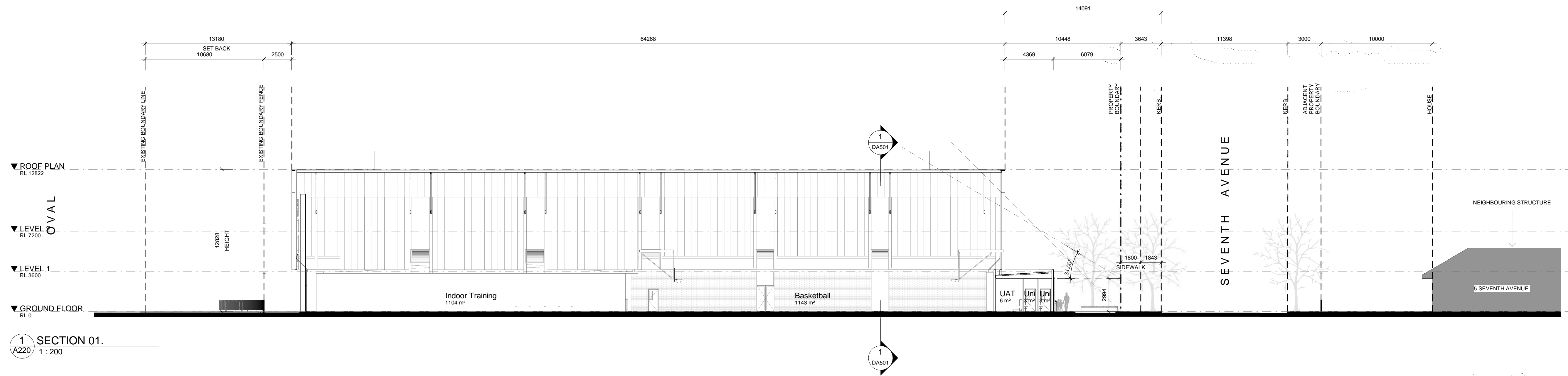
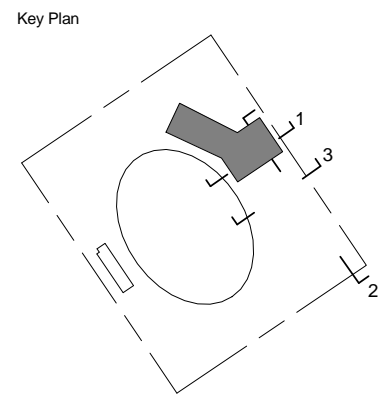
Drawing Title

ROOF PLAN


Drawn By BS Checked By LG Scale @ A1 As indicated

Project No. 32025 Drawing No. DA230 Revision 6

Status DEVELOPMENT APPROVAL



Rev.	Date	Initial	Description
7	10/05/21	LG	For Development Approval
6	03/03/21	LG	Fence Amendments
5	19/02/21	LG	Soccer Pitch Fence Revision
4	18/02/21	LG	For Development Approval
3	14/12/20	LG	For Information
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information



Hames Sharley
hamessharley.com.au +61 8 8112 3400

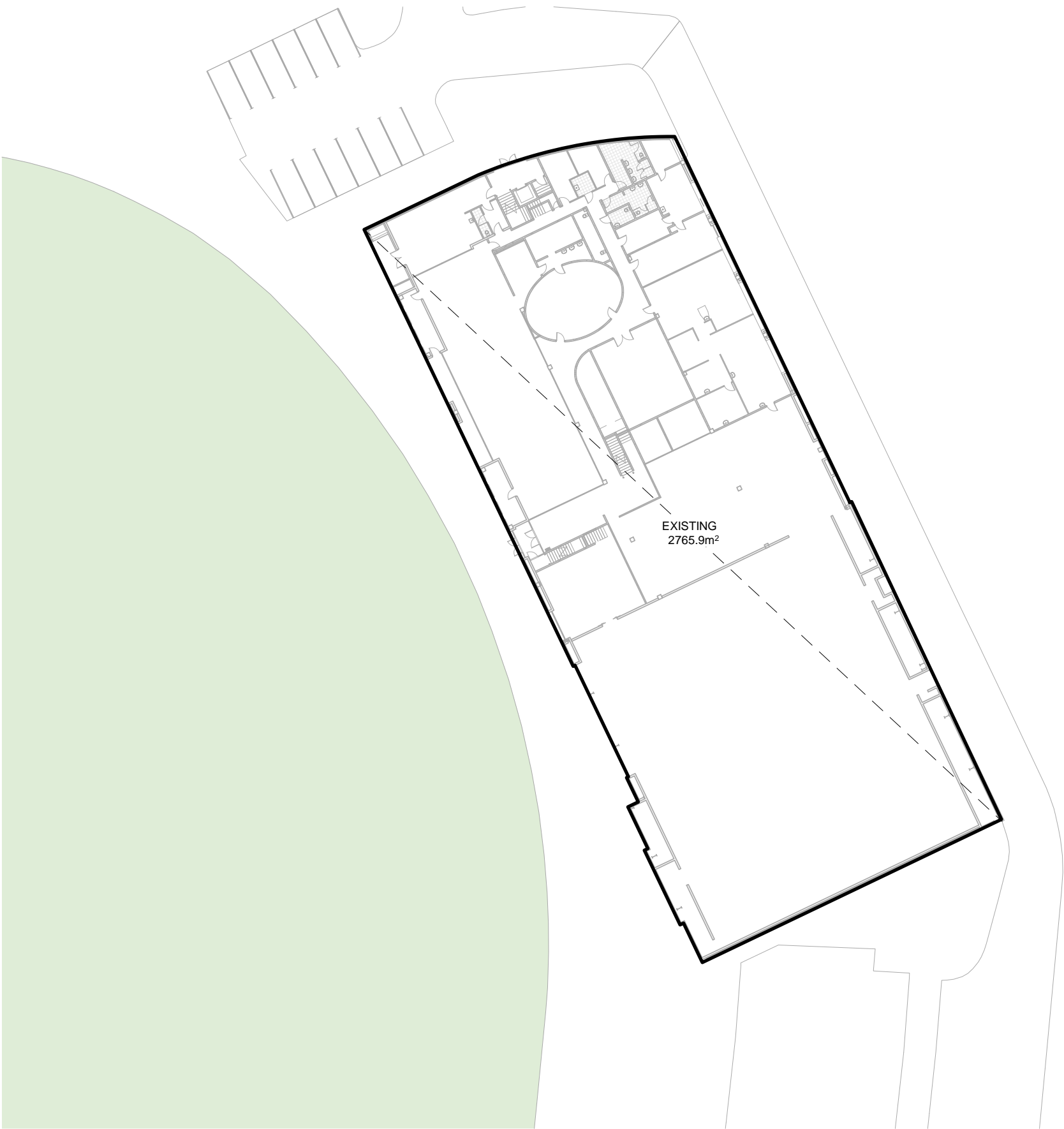
Project
ASHQ

Brougham Pl, Alberton SA 5014

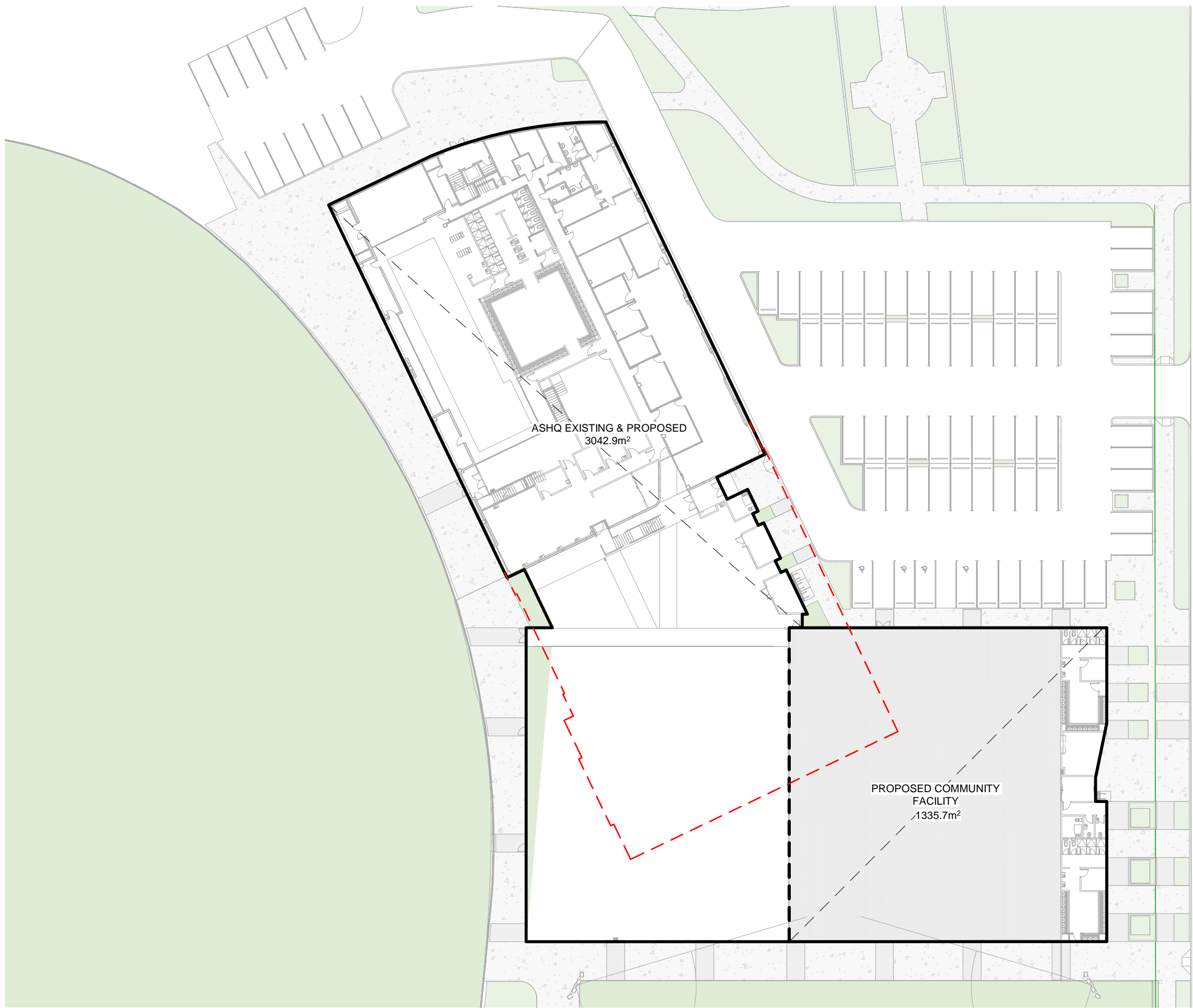
Drawing Title
SECTION

Drawn By BS	Checked By LG	Scale @ A1 1 : 200
Project No. 32025	Drawing No. DA500	Revision 7

Status
DEVELOPMENT APPROVAL

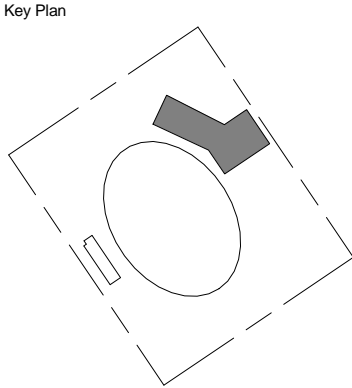


2 GROUND FLOOR - Existing Overall
1 : 500



1 GROUND FLOOR - Existing + Proposed Overall
1 : 500

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.
ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.



AREA	
EXISTING ASHQ	2765.9m²

ASHQ EXISTING & PROPOSED	3042.9m²
Proposed upgrade equates to 10% increase of the existing ASHQ built area.	
PROPOSED COMMUNITY FACILITY	1335.7m²
TOTAL	4378.6m²
Proposed development equates to 58% increase of the existing built area.	

2	10/05/21	LG	For Development Approval
1	03/03/21	LG	Area Plans
Rev.	Date	Initial	Description

Client



Hames Sharley
hamessharley.com.au +61 8 8112 3400

Project
ASHQ

Brougham PI, Alberton SA 5014

Drawing Title
AREA PLAN

Drawn By	Checked By	Scale @ A1
BS	LG	1 : 500
Project No.	Drawing No.	Revision
32025	DA1001	2
Status DEVELOPMENT APPROVAL		