



# Arboricultural Impact Assessment and Development Impact Report

Site: Port Adelaide Football Club

Date: Tuesday, 29 June 2021

ATS6119-PAFCDIR R1

## Contents

Executive Summary .....	1
Brief .....	2
Documents and Information Provided .....	2
Site Location.....	3
Methodology.....	4
Assessment.....	5
Tree Assessment .....	5
Legislation .....	5
Retention Rating .....	6
Encroachment and Impact Considerations.....	6
Conclusion.....	7
Recommendation.....	7
Pre- Development .....	7
Development .....	7
TPZ Compliance.....	7
Post Construction .....	7
Definitions.....	9
References .....	9

Appendix A - Tree Assessment Methodology

Appendix B - Tree Assessment Findings

Appendix C - Mapping

Appendix D - Tree Findings Summary Table

Appendix E - Tree Protection Zone Guidelines

Report Reference Number: ATS6119-PAFCDIR R1

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## Executive Summary

Arborman Tree Solutions has assessed Regulated and Significant Trees in and adjacent to the proposed development area at Port Adelaide Football Club. The assessment has identified the potential impacts to the trees from the proposed development and supporting infrastructure and recommended mitigation strategies where appropriate.

The assessment identified 17 trees with a trunk circumference greater than two metres, of these 15 are identified as Regulated or Significant Trees, one, Tree 5, is exempt due to species and one, Tree 12, is unregulated due to having a reduced average trunk circumference. The trees are in generally good condition with only two trees, Trees 10 and 16, being in poor condition. There are three trees, Trees 2, 3 and 4, which are located on adjacent properties and as such these require protection regardless of their legislative status.

There are 12 trees which are suitable for retention as they achieved a High (4) or Moderate (8) Retention Rating. The remaining five trees achieve a Low Retention Rating indicating they should not form a material constraint to development; however, one of these, Tree 4, is located on an adjacent property and as such requires retention and protection.

There are eleven trees, Trees 5-10 and 13-17, that are in direct conflict with proposed development and will require removal. The remaining trees, Trees 1-4, 11 and 12, are not expected to be impacted by the proposed work and Tree Protection is recommended for these trees to prevent accidental damage to their root zone, trunk and/or crown.

## Brief

Arborman Tree Solutions was engaged by Australian Construction Services Pty Ltd to undertake an Arboricultural Impact Assessment and provide a Development Impact Report at Port Adelaide Football Club. The purpose of the Arboricultural Impact Assessment and Development Impact Report is to identify potential impacts the proposed development will have on the identified trees and provide mitigation strategies to minimise the impact where appropriate. The identified trees in this report include only those trees that have a trunk circumference greater than two metres at one metre above ground and are therefore nominally controlled/regulated under the *Planning Development and Infrastructure Act 2016 (PDI Act 2016)*; trees that did not achieve this threshold were not assessed.

The proposed development includes the construction of a new soccer field and carpark. This assessment will determine the potential impacts the proposal may have on the trees within adjacent the site and to recommend impact mitigation strategies in accordance with Australian Standard AS4970-2009 *Protection of trees on development sites* (AS4970-2009) for trees to be retained.

In accordance with section 2.2 of the AS4970-2009 the following information is provided:

- Assessment of the general condition and structure of the subject trees.
- Identification of the legislative status of trees on site as defined in the *Planning Development and Infrastructure Act 2016 (PDI Act 2016)*.
- Identify and define the Tree Protection Zone and Structural Root Zone for each tree.
- Identify potential impacts the development may have on tree health and/or stability.
- Recommend impact mitigation strategies in accordance with AS4970-2009 for trees to be retained.
- Provide information in relation to the management of trees.

## Documents and Information Provided

The following information was provided for the preparation of this assessment

- Email instruction on Scope of Works
- Design Drawings



## Site Location

Figure 1: Site location – Port Adelaide Football Club



## Methodology

The proposed design was reviewed in association with the information supplied in the Design Drawings and CAD files as supplied by Australian Construction Services Pty Ltd.

The potential impact of the proposed works on tree condition is considered in accordance with the guidelines in AS4970-2009 *Protection of trees on development sites* (AS4970-2009). When determining potential impacts of an encroachment into a Tree Protection Zone (TPZ), the following should be considered as outlined in section 3.3.4 *TPZ encroachment considerations*:-

- a) Location of roots and root development.
- b) The potential loss of root mass from the encroachment.
- c) Tree species and tolerance to root disturbance.
- d) Age, vigour and size of the tree.
- e) Lean and stability of the tree.
- f) Soil characteristics and volume, topography and drainage.
- g) The presence of existing or past structures or obstacles affecting root growth.
- h) Design factors.

The impacts on a tree can be varied and are not necessarily consistent with or directly correlated to a particular level of encroachment, to assist in providing consistency the levels of impact have been classified into the following categories: -

- No Impact - no encroachment into the TPZ has been identified.
- Low <10% - the identified encroachment is less than 10% of the TPZ area and not expected to impact tree viability.
- Low >10% - the identified encroachment is greater than 10% of the TPZ area however there are factors that indicate the proposed development will not negatively impact tree viability.
- High >10% - the identified encroachment is greater than 10% of the TPZ area and factors are present that indicate the proposed development will negatively impact tree viability. The impact is likely to lead to the long-term decline of the tree however it is unlikely to impact on its short-term stability.
- Conflicted - the identified encroachment is greater than 10% of the TPZ area and in most cases will also impact the SRZ and/or the trunk. There are factors present that indicate the proposed development will negatively impact tree viability to the point where its removal is required as part of the development.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'Low' have features or considerations identified in clauses in AS4970-2009 3.3.4 *TPZ encroachment considerations* which indicate these trees will be sustainable.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'High' do not have any features or considerations identified in clauses in AS4970-2009 3.3.4 and therefore alternative design solutions, additional root investigations and/or tree sensitive construction measures are required if the tree is to be retained. Where alternative protection methodologies are not available tree removal may be required to accommodate the development.

Trees with an Impact identified as 'Conflicted' are impacted over the majority of their root zone and/or over the SRZ or on the trunk, additional root investigations or tree sensitive construction measures are not available and the only option is alternative designs or tree removal.

Regulatory Status, Tree Protection Zones and Development Impacts are shown in Appendix B.

## Assessment

Arborman Tree Solutions was engaged by Australian Construction Services Pty Ltd to undertake an Arboricultural Impact Assessment and provide a Development Impact Report for the Regulated and Significant Trees in and adjacent to the proposed development area at Port Adelaide Football Club. The purpose of the Arboricultural Impact Assessment and Development Impact Report is to identify potential impacts the proposed development will have on the identified trees and provide mitigation strategies to minimise impact where appropriate. The proposal involves the construction of a new soccer field and carpark on land currently used a carpark, reserve and croquet club. This assessment provides recommendations in accordance with Australian Standard AS4970-2009 *Protection of trees on development sites* (AS4970-2009).

### Tree Assessment

The assessment identified 17 trees which are in generally good condition with only two trees, Trees 10 and 16, being in poor condition. The tree population included a variety of exotic, indigenous and Australian native species with the most dominant species being the introduced native *Corymbia citriodora* (Lemon Scented Gum) with seven specimens.

Table 1 Tree Population

Botanic Name	Common Name	Number of Trees	Origin	Tree Numbers
<i>Corymbia citriodora</i>	Lemon Scented Gum	7	Native	2, 3, 6, 7, 11, 13 and 14
<i>Cupressus macrocarpa</i>	Monterey Cypress	1	Exotic	5
<i>Eucalyptus leucoxylon</i>	South Australian Blue Gum	3	Indigenous	1, 8 and 16
<i>Eucalyptus sideroxylon</i>	Mugga or Red Ironbark	2	Native	9 and 10
<i>Eucalyptus sp.</i>	Gum Tree	1	Native	15
<i>Melaleuca quinquenervia</i>	Broad Leafed Paper bark	1	Native	17
<i>Melia azedarach</i>	White Cedar	1	Exotic	12
<i>Phoenix canariensis</i>	Canary Island Date Palm	1	Exotic	4

Findings on individual tree health and condition is presented in Appendix B - Tree Assessment Findings.

### Legislation

The assessment identified 17 trees with a trunk circumference greater than two metres, of these 15 are identified as Regulated Trees, one, Tree 5, is exempt due to species and the remaining tree, Tree 12, is unregulated; whilst Tree 12 has a trunk circumference greater than two metres the average trunk circumference is less than 0.625 metres and therefore it is not regulated by the *PDI Act 2016*. Significant and Regulated Trees should be preserved if they meet the criteria under the local development plan or are rare or endangered or listed as Significant Trees under the local development plan.

Table 2 Legislative Status

Legislative Status	Number of Trees	Tree Numbers
Regulated	15	1-4, 6-11 and 13-17
Unregulated	1	12
Exempt	1	5

There are three trees, Trees 2, 3 and 4, which are located on adjacent properties and as such these require protection regardless of their legislative status.



### **Retention Rating**

Trees that provide important environmental and/or aesthetic contribution to the area, are in good condition scored a High or Moderate Retention Rating and conservation of these trees is encouraged. Trees identified as not suitable for retention or attained a low Tree Retention Rating, displayed one or a number of the following attributes:

- a) provide limited environmental/aesthetic benefit,
- b) short lived species,
- c) represent a material risk to persons or property,
- d) identified as causing or threatening to cause substantial damage to a structure of value,
- e) limited Useful Life Expectancy.
- f) young and easily replaced.

There are 12 trees which are suitable for retention as they achieved a High (4) or Moderate (8) Retention Rating. The Regulated and Significant Trees that scored a High rating meet on or more criteria within the *PDI Act 2016* that warrant their retention.

Table 3 Retention Rating

Retention Rating	Number of Trees	Tree Numbers
High	4	2, 3, 6 and 7
Moderate	8	1, 8, 9, 11, 13-15 and 17
Low	5	4, 5, 10, 12 and 16

The remaining five trees achieves a Low Retention Rating indicating they should not form a material constraint to development; however, one of these, Tree 4, is located on an adjacent property and as such requires retention and protection.

### **Encroachment and Impact Considerations**

There are eleven trees, Trees 5-10 and 13-17, that are in direct conflict with proposed development and will require removal. The remaining trees, Trees 1-4, 11 and 12, are not expected to be impacted by the proposed work.

Table 4 Development Impact

Impact	Number of Trees	Tree Numbers
Conflicted	11	5-10 and 13-17
Low or No Impact	6	1-4, 11 and 12

Within AS4970-2009 relevant information is provided to assist with determining the impact on trees when developing in close proximity to them. Any tree that requires protection should be retained whilst remaining viable during and post development. Further guidance on how to suitably manage any proposed or encountered encroachments is identified in AS4970-2009. When assessing potential impacts, a Tree Protection Zone (TPZ) and Structural Root Zone (SRZ) are the principle means of protecting a tree and are provided in accordance with AS4970-2009 section 1.4.5 and 3.2.

## Conclusion

Trees 5-10 and 13-17 are in Conflict with the proposed development and require removal if the development is to be completed successfully. There are no realistic alternative development options available if the intent of the development is to be successfully achieved.

There are six trees identified for retention and Tree Protection is recommended for these trees to prevent accidental damage to their root zone, trunk and/or crown.

Table 5 Required Works

Recommended Work	Number of Trees	Tree Numbers
Removal Required	11	5-10 and 13-17
Protect Root Zone	6	1-4, 11 and 12

## Recommendation

The following recommendations are presented based on the Arboricultural Impact Assessment and have been provided to appropriately manage the identified Trees 1-4, 11 and 12:

### Pre- Development

1. Appoint a Project Arborist to be consulted on all matters relating to the care and maintenance of the trees and the Tree Protection Zone (TPZ).
2. A Tree Protection Plan (TPP) is required to provide guidance and clarification of the demolition and construction phase within the trees' TPZ.
3. Identify the area which is being maintained and protected as per AS4970-2009, this area should be highlighted in the TPP with all relevant personal to have access to that document.
4. The demolition of the existing hardstand within the TPZs is to be managed with care to ensure any roots that may have grown around the edges are managed and protected appropriately. All material is to be pulled out of the TPZ and away from the trees.

### Development

1. No storage of material, equipment or temporary building is permitted within the cordoned off TPZ's nor is anything to be attached to the trees, including temporary service wires, nails, screws, signs or any other fixing device.
2. Permeable Paving at the existing grade is recommended within the proposed development for Trees 3 and 4.

### TPZ Compliance

1. Certificates of compliance should be attained from a suitably Qualified Arborist at specified development intervals (see Appendix E - Tree Protection Zone Guidelines).

### Post Construction

The Project Arborist should inspect the trees once the development has concluded. This is to verify the trees' condition have not declined and to identify any potential remediation, if required.

These recommendations have been provided to ensure the balance between development and arboricultural management have been addressed and considered. If the recommendations are followed and adhered to the subject trees will not be negatively impacted by this proposal.

Thank you for the opportunity to provide this report. Should you have any questions or require further information, please contact me and I will be happy to be of assistance.

Yours sincerely,



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***VALID Tree Risk Assessment (VALID) – 2018***

***Native Vegetation Council Trained Arborist 2019***



## Definitions

<b>Circumference:</b>	trunk circumference measured at one metre above ground level. This measurement is used to determine the status of the tree in relation to the <i>PDI Act 2016</i> .
<b>Diameter at Breast Height:</b>	trunk diameter measured at 1.4 metres above ground level used to determine the Tree Protection Zone as described in Australian Standard AS4970-2009 <i>Protection of trees on development sites</i> .
<b>Diameter at Root Buttress:</b>	trunk diameter measured just above the root buttress as described in Australian Standard AS4970-2009 <i>Protection of trees on development sites</i> and is used to determine the Structural Root Zone.
<b>Tree Damaging Activity</b>	Tree damaging activity includes those activities described within the <i>PDI Act 2016</i> such as removal, killing, lopping, ringbarking or topping or any other substantial damage such as mechanical or chemical damage, filling or cutting of soil within the TPZ. Can also include forms of pruning above and below the ground.
<b>Tree Protection Zone:</b>	area of root zone that should be protected to prevent substantial damage to the tree's health.
<b>Structural Root Zone:</b>	calculated area within the tree's root zone that is considered essential to maintain tree stability.
<b>Project Arborist</b>	a person with the responsibility for carrying out a tree assessment, report preparation, consultation with designers, specifying tree protection measures, monitoring and certification. The Project Arborist must be competent in arboriculture, having acquired through training, minimum Australian Qualification Framework (AQTF) Level 5, Diploma of Horticulture (Arboriculture) and/or equivalent experience, the knowledge and skills enabling that person to perform the tasks required by this standard.
<b>Encroachment:</b>	the area of a Tree Protection Zone that is within the proposed development area.
<b>Impact:</b>	the effect on tree health, structure and/or viability as a result of required works associated with the proposed development within the TPZ or the vicinity of the tree(s).

## References

Australian Standard AS4970–2009 *Protection of trees on development sites*: Standards Australia.

Matheny N. Clark J. 1998: *Trees and Development a Technical Guide to Preservation of Trees During Land Development*. International Society of Arboriculture, Champaign, Illinois, USA.

## Appendix A - Tree Assessment Methodology



## Tree Assessment Form (TAF©)

Record	Description
<b>Tree</b>	In botanical science, a tree is a perennial plant which consists of one or multiple trunks which supports branches and leaves. Trees are generally taller than 5 metres and will live for more than ten seasons, with some species living for hundreds or thousands of seasons.
<b>Genus and Species</b>	<p>Botanical taxonomy of trees uses the binominal system of a genus and species, often there are subspecies and subgenus as well as cultivars. When identifying tree species, identification techniques such as assessing the tree's form, flower, stem, fruit and location are used. Identifying the right species is critical in assessing the tree's legalisation and environmental benefit. All efforts are made to correctly identify each tree to species level, where possible.</p> <p>Genus is the broader group to which the tree belongs e.g. <i>Eucalyptus</i>, <i>Fraxinus</i> and <i>Melaleuca</i>. Species identifies the specific tree within the genus e.g. <i>Eucalyptus camaldulensis</i>, <i>Fraxinus griffithi</i> or <i>Melaleuca styphelioides</i>. Trees will also be assigned the most commonly used Common Name. Common Names are not generally used for identification due to their nonspecific use, i.e. <i>Melia azedarach</i> is commonly known as White Cedar in South Australia but is also called Chinaberry Tree, Pride of India, Bead-tree, Cape Lilac, Syringa Berrytree, Persian Lilac, and Indian Lilac; equally similar common names can refer to trees from completely different Genus e.g. Swamp Oak, Tasmanian Oak and English Oak are from the <i>Casuarina</i>, <i>Eucalyptus</i> and <i>Quercus</i> genus's respectively.</p>
<b>Height</b>	Tree height is estimated by the arborist at the time of assessment. Tree height is observed and recorded in the following ranges; <5m, 5-10m, 10-15m and >20m.
<b>Spread</b>	Tree crown spread is estimated by the arborist at the time of assessment and recorded in the following ranges <5m, 5-10m, 10-15m, 15-20m, >20m.
<b>Health</b>	Tree health is assessed using the Arborman Tree Solutions - Tree Health Assessment Method that is based on international best practice.
<b>Structure</b>	Tree structure is assessed using Arborman Tree Solutions - Tree Structure Assessment Method that is based on international best practice.
<b>Tree Risk Assessment</b>	Tree Risk is assessed using Tree Risk Assessment methodology. The person conducting the assessment has been trained in the International Society of Arboriculture Tree Risk Assessment Qualification (TRAQ), Quantified Tree Risk Assessment (QTRA) and/or VALID Tree Risk Assessment (VALID). Refer to the Methodology within the report for additional information.
<b>Legislative Status</b>	Legislation status is identified through the interpretation of the <i>Development Act 1993</i> , the <i>Natural Resource Management Act 2004</i> , the <i>Native Vegetation Act 1991</i> and/or any other legislation that may apply.
<b>Mitigation</b>	Measures to reduce tree risk, improve tree condition, remove structural flaws, manage other conditions as appropriate may be recommended in the form of pruning and is listed in the Tree Assessment Findings (Appendix B). Tree pruning is recommended in accordance with AS4373-2007 <i>Pruning amenity trees</i> where practicable. Where measures to mitigate risk is not possible and the risk is unacceptable, then tree removal or further investigation is recommended.

## Useful Life Expectancy (ULE)

ULE Rating	Definition
Surpassed	The tree has surpassed its Useful Life Expectancy. Trees that achieve a surpassed ULE may do so due to poor health, structure or form. Additionally, trees that are poorly located such as under high voltage powerlines or too close to structures may also achieve a surpassed ULE. Trees that achieve this status will be recommended for removal as there are no reasonable options to retain them.
<10 years	The tree displays either or both Poor Health and/or Structure and is considered to have a short Useful Life Expectancy of less than ten years. Some short-lived species such as <i>Acacia sp.</i> may naturally achieve a short ULE.
>10 years	The tree displays Fair Health or Structure and Good Health or Structure and is considered to have a Useful Life Expectancy of ten years or more. Trees identified as having a ULE of >10, will require mitigation such as pruning, stem injections or soil amelioration to increase their ULE.
>20 years	The tree displays Good Health and Structure and is considered to have an extended Useful Life Expectancy of more than twenty years.

## Maturity (Age)

Age Class	Definition
Senescent	The tree has surpassed its optimum growing period and is declining and/or reducing in size. May be considered as a veteran in relation to its ongoing management. Tree will have generally reached greater than 80% of its expected life expectancy.
Mature	A mature tree is one that has reached its expected overall size, although the tree's trunk is still expected to continue growing. Tree maturity is also assessed based on species; as some trees are much longer lived than others. Tree will have generally reached 20-80% of its expected life expectancy.
Semi Mature	A tree which has established but has not yet reached maturity. Normally tree establishment practices such as watering will have ceased. Tree will generally not have reached 20% of its expected life expectancy.
Juvenile	A newly planted tree or one which is not yet established in the landscape. Tree establishment practices such as regular watering will still be in place. Tree will generally be a newly planted specimen up to five years old; this may be species dependant.

## Tree Health Assessment (THA©)

Category	Description
Good	Tree displays normal vigour, uniform leaf colour, no or minor dieback (<5%), crown density (>90%). When a tree is deciduous, healthy axillary buds and typical internode length is used to determine its health. A tree with good health would show no sign of disease and no or minor pest infestation was identified. The tree has little to no pest and/or disease infestation.
Fair	Tree displays reduced vigour abnormal leaf colour, a moderate level of dieback (<15%), crown density (>70%) and in deciduous trees, reduced axillary buds and internode length. Minor pest and/or disease infestation potentially impacting on tree health. Trees with fair health have the potential to recover with reasonable remedial treatments.
Poor	Tree displays an advanced state of decline with low or no vigour, chlorotic or dull leaf colour, with high crown dieback (>15%), low crown density (<70%) and/or in deciduous trees, few or small axillary buds and shortened internode length. Pest and or disease infestation is evident and/or widespread. Trees with poor health are highly unlikely to recover with any remedial treatments; these trees have declined beyond the point of reversal.
Dead	The tree has died and has no opportunity for recovery.

## Tree Structural Assessment (TSA©)

Category	Description
Good	Little to no branch failure observed within the crown, well-formed unions, no included bark, good branch and trunk taper present, root buttressing and root plate are typical. Trees that are identified as having good health display expected condition for their age, species and location.
Fair	The tree may display one or more of the following a history of minor branch failure, included bark unions may be present however, are stable at this time, acceptable branch and trunk taper present, root buttressing and root plate are typical. Trees with fair structure will generally require reasonable remediation methods to ensure the tree's structure remains viable.
Poor	History of significant branch failure observed in the crown, poorly formed unions, unstable included bark unions present, branch and/or trunk taper is abnormal, root buttressing and/or root plate are atypical.
Failed	The structure of the tree has or is in the process of collapsing.

## Tree Form Assessment (TFA©)

Category	Description
Good	Form is typical of the species and has not been altered by structures, the environment or other trees.
Fair	The form has minor impacts from structures, the environment or adjacent trees which has altered its shape. There may be slight phototropic response noted or moderate pruning which has altered the tree's form.
Poor	The tree's form has been substantially impacted by structures, the environment, pruning or other trees. Phototropic response is evident and unlikely to be corrected.
Atypical	Tree form is highly irregular due to structures or other trees impacting its ability to correctly mature. Extreme phototropic response is evident; or the tree has had a substantially failure resulting in its poor condition, or extensive pruning has altered the tree's form irreversibly.

## Priority

Category	Description
Low	Identified works within this priority should be carried out within 12 months.
Medium	Identified works within this priority should be carried out within 6 months.
High	Identified works within this priority should be carried out within 3 months.
Urgent	Identified works within this priority should be carried out immediately. Works within this priority rating will be brought to attention of the responsible person at the time of assessment.

## Tree Retention Rating (TRR)

The Tree Retention Rating is based on a number of factors that are identified as part of the standard tree assessment criteria including Condition, Size, Environmental, Amenity and Special Values. These factors are combined in a number of matrices to provide a Preliminary Tree Retention Rating and a Tree Retention Rating Modifier which combine to provide a Tree Retention Rating that is measurable, consistent and repeatable.

### Preliminary Tree Retention Rating

The Preliminary Tree Retention Rating is conducted assessing Tree Health and Structure to give an overall Condition Rating and Height and Spread to give an overall Size Rating. The following matrices identify how these are derived.

Condition Matrix				
Structure	Health			
	Good	Fair	Poor	Dead
Good	C1	C2	C3	C4
Fair	C2	C2	C3	C4
Poor	C3	C3	C4	C4
Failed	C4	C4	C4	C4

Size Matrix					
Spread	Height				
	>20	15-20	10-15	5-10	<5
>20	S1	S1	S1	S2	S3
15-20	S1	S1	S2	S3	S3
10-15	S1	S2	S2	S3	S4
5-10	S2	S3	S3	S4	S5
<5	S3	S3	S4	S5	S5

The results from the Condition and Size Matrices are then placed in the Preliminary Tree Retention Rating Matrix.

Preliminary Tree Retention Rating				
Size	Condition			
	C1	C2	C3	C4
S1	High	Moderate	Low	Low
S2	Moderate	Moderate	Low	Low
S3	Moderate	Moderate	Low	Low
S4	Moderate	Moderate	Low	Low
S5	Low	Low	Low	Low

The Preliminary Tree Retention Rating gives a base rating for all trees regardless of other environmental and/or amenity factors and any Special Value considerations. The Preliminary Tree Retention Rating can only be modified if these factors are considered to be of high or low enough importance to warrant increasing or, in a few cases, lowering the original rating.

## Tree Retention Rating Modifier

The Preliminary Tree Retention Rating is then qualified against the recognised Environmental and Amenity benefits that trees present to the community thereby providing a quantitative measure to determine the overall Tree Retention Rating. Data is collected in relation to Environmental and Amenity attributes which are compared through a set of matrices to produce a Tree Retention Rating Modifier.

Environmental Matrix				
Origin	Habitat			
	Active	Inactive	Potential	No Habitat
Indigenous	E1	E1	E2	E3
Native	E1	E2	E3	E3
Exotic	E2	E3	E3	E4
Weed	E3	E3	E4	E4

Amenity Matrix				
Character	Aesthetics			
	High	Moderate	Low	None
Important	P1	P1	P2	P3
Moderate	P1	P2	P3	P3
Low	P2	P3	P3	P4
None	P3	P3	P4	P4

Tree Retention Rating Modifier				
Amenity	Environment			
	E1	E2	E3	E4
P1	High	High	Moderate	Moderate
P2	High	Moderate	Moderate	Moderate
P3	Moderate	Moderate	Moderate	Moderate
P4	Moderate	Moderate	Moderate	Low

## Tree Retention Rating

The results of the Preliminary Tree Retention Rating and the Tree Retention Rating Modifier matrices are combined in a final matrix to give the actual Tree Retention Rating.

Tree Retention Rating Matrix			
Tree Retention Rating Modifier	Preliminary Tree Retention Rating		
	High	Moderate	Low
High	Important	High	Moderate
Moderate	High	Moderate	Low
Low	Moderate	Low	Low

## **Special Value Trees**

There are potentially trees that have Special Value for reasons outside of normal Arboricultural assessment protocols and therefore would not have been considered in the assessment to this point; to allow for this a Special Value characteristic that can override the Tree Retention Rating can be selected. Special Value characteristics that could override the Tree Retention Rating would include factors such as the following:

### *Cultural Values*

Memorial Trees, Avenue of Honour Trees, Aboriginal Heritage Trees, Trees planted by Dignitaries and various other potential categories.

### *Environmental Values*

Rare or Endangered species, Remnant Vegetation, Important Habitat for rare or endangered wildlife, substantial habitat value in an important biodiversity area and various other potential categories.

Where a tree achieves one or more Special Value characteristics the Tree Retention Rating will automatically be overridden and assigned the value of Important.

## **Tree Retention Rating Definitions**

- Important** These trees are considered to be important and will in almost all instances be required to be retained within any future development/redevelopment. It is highly unlikely that trees that achieve this rating would be approved for removal or any other tree damaging activity. Protection of these trees should as a minimum be consistent with Australian Standard AS4970-2009 *Protection of trees on development sites* however given the level of importance additional considerations may be required.
- High** These trees are considered to be important and will in most instances be required to be retained within any future development/redevelopment. It is unlikely that trees that achieve this rating would be approved for removal or any other tree damaging activity. Protection of these trees should be consistent with Australian Standard AS4970-2009 *Protection of trees on development sites*.
- Moderate** These trees are considered to be suitable for retention however they achieve less positive attributes than the trees rated as Important or High and as such their removal or other tree damaging activity is more likely to be considered to be acceptable in an otherwise reasonable and expected development. The design process should where possible look to retain trees with a Moderate Retention Rating. Protection of these trees, where they are identified to be retained, should be consistent with Australian Standard AS4970-2009 *Protection of trees on development sites*.
- Low** These trees are not considered to be suitable for retention in any future development/redevelopment; trees in this category do not warrant special works or design modifications to allow for their retention. Trees in this category are likely to be approved for removal and/or other tree damaging activity in an otherwise reasonable and expected development. Protection of these trees, where they are identified to be retained, should be consistent with Australian Standard AS4970-2009 *Protection of trees on development sites*.

## Development Impact Assessment

Potential development impacts were determined in accordance with Australian Standard 4970-2009 *Protection of trees on development sites*. The identification of the impact of development considers a number of factors including the following:

- a. The extent of encroachment into a tree's Tree Protection Zone by the proposed development as a percentage of the area.
- b. Results of any non-destructive exploratory investigations that may have occurred to determine root activity.
- c. Any required pruning that may be needed to accommodate the proposed development.
- d. Tree species and tolerance to root disturbance.
- e. Age, vigour and size of the tree.
- f. Lean and stability of the tree.
- g. Soil characteristics and volume, topography and drainage.
- h. The presence of existing or past structures or obstacles potentially affecting root growth.
- i. Design factors incorporated into the proposed development to minimise impact.

The impacts on a tree can be varied and are not necessarily consistent with or directly correlated to a particular level of encroachment, to assist in providing consistency the levels of impact have been classified into the following categories: -

- No Impact - no encroachment into the TPZ has been identified.
- Low <10% - the identified encroachment is less than 10% of the TPZ area and not expected to impact tree viability.
- Low >10% - the identified encroachment is greater than 10% of the TPZ area however there are factors that indicate the proposed development will not negatively impact tree viability.
- High >10% - the identified encroachment is greater than 10% of the TPZ area and factors are present that indicate the proposed development will negatively impact tree viability. The impact is likely to lead to the long-term decline of the tree however it is unlikely to impact on its short-term stability.
- Conflicted - the identified encroachment is greater than 10% of the TPZ area and in most cases will also impact the SRZ and/or the trunk. There are factors present that indicate the proposed development will negatively impact tree viability to the point where its removal is required as part of the development.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'Low' have features or considerations identified in clauses in AS4970-2009 3.3.4 *TPZ encroachment considerations* which indicate these trees should be sustainable.

Trees with calculated encroachments greater than 10% and with an Impact identified as 'High' do not have any features or considerations identified in clauses in AS4970-2009 3.3.4 and therefore alternative design solutions, additional root investigations and/or tree sensitive construction measures are required if the tree is to be retained. Where alternative protection methodologies are not available tree removal may be required to accommodate the development.

Trees with an Impact identified as 'Conflicted' are impacted over the majority of their root zone and/or over the SRZ or on the trunk, additional root investigations or tree sensitive construction measures are not available and the only option is alternative designs or tree removal.



## Appendix B - Tree Assessment Findings



## South Australian Blue Gum

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	10-15 metres
Health:	Good
Structure:	Good
Form:	Poor
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	7.32 metres
Structural Root Zone:	2.80 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Moderate

This tree has a Moderate Retention Rating and could be considered for retention in any future development.

### Development Impact

Low

The identified encroachment is less than 10% of the TPZ area and not expected to impact tree viability.

### Recommendation

Protect Root Zone

Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	7.20 metres
Structural Root Zone:	2.78 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.



Legislative Status	Regulated
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
Retention Rating	High
This tree has a High Retention Rating and should be protected in any future development.	
Development Impact	No Impact
No encroachment into the Tree Protection Zone area has been identified.	
Recommendation	Protect Root Zone
Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.	



## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	7.68 metres
Structural Root Zone:	2.85 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.



Legislative Status	Regulated
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
Retention Rating	High
This tree has a High Retention Rating and should be protected in any future development.	
Development Impact	Low
The identified encroachment is less than 10% of the TPZ area and not expected to impact tree viability.	
Recommendation	Protect Root Zone
Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.	

## Canary Island Date Palm

Inspected:	24 November 2020
Height:	5-10 metres
Spread:	5-10 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	5.00 metres
Structural Root Zone:	1.50 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Low

This tree has a Low Retention Rating and should not form a material constraint to the redevelopment of this site.

### Development Impact

No Impact

No encroachment into the Tree Protection Zone area has been identified.

### Recommendation

Protect Root Zone

Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.



## Monterey Cypress

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	10-15 metres
Health:	Fair
Structure:	Fair
Form:	Fair
Trunk Circumference:	>3 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	15.00 metres
Structural Root Zone:	3.99 metres

### Observations

This tree is considered to be in fair overall condition as evidenced by the moderate volume of deadwood and dieback throughout the crown and the species typical stable included bark unions throughout the structure.



Legislative Status	Exempt
This tree species is listed as exempt from control under Regulation 3F(4)(b) of the Planning, Development and Infrastructure (General) Regulations 2017.	
Retention Rating	Low
This tree has a Low Retention Rating and should not form a material constraint to the redevelopment of this site.	
Development Impact	Conflicted
The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.	
Recommendation	Removal Required
Tree removal is required to support the proposed development.	

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	15-20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	8.64 metres
Structural Root Zone:	3.00 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.



Legislative Status	Regulated
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
Retention Rating	High
This tree has a High Retention Rating and should be protected in any future development.	
Development Impact	Conflicted
The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.	
Recommendation	Removal Required
Tree removal is required to support the proposed development.	

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Good
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	8.40 metres
Structural Root Zone:	2.97 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.



<b>Legislative Status</b>	<b>Regulated</b>
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
<b>Retention Rating</b>	<b>High</b>
This tree has a High Retention Rating and should be protected in any future development.	
<b>Development Impact</b>	<b>Conflicted</b>
The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.	
<b>Recommendation</b>	<b>Removal Required</b>
Tree removal is required to support the proposed development.	



## South Australian Blue Gum

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	15-20 metres
Health:	Good
Structure:	Poor
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	7.38 metres
Structural Root Zone:	2.80 metres

### Observations

This tree displays good health, however it has poor structure due to having been lopped, the crown now consists entirely of poorly attached epicormic regrowth arising from the lop points. This tree is not sustainable in its current location regardless of the redevelopment of the site.



### Legislative Status

**Regulated**

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

**Moderate**

This tree has a Moderate Retention Rating and could be considered for retention in any future development.

### Development Impact

**Conflicted**

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

**Removal Required**

Tree removal is required to support the proposed development.



## Mugga or Red Ironbark

Inspected:	24 November 2020
Height:	15-20 metres
Spread:	15-20 metres
Health:	Good
Structure:	Fair
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>10 years
Tree Protection Zone:	7.80 metres
Structural Root Zone:	2.88 metres

### Observations

This tree is considered to be in fair overall condition due to the presence of a currently stable included bark union in the mid crown.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Moderate

This tree has a Moderate Retention Rating and could be considered for retention in any future development.

### Development Impact

Conflicted

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

Removal Required

Tree removal is required to support the proposed development.

## Mugga or Red Ironbark

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	5-10 metres
Health:	Poor
Structure:	Good
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	6.03 metres
Structural Root Zone:	2.58 metres

### Observations

This tree is considered to be in poor overall condition as indicated by the substantially reduced foliage density, the yellowing foliage and the level of the dieback throughout the crown.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Low

This tree has a Low Retention Rating and should not form a material constraint to the redevelopment of this site.

### Development Impact

Conflicted

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

Removal Required

Tree removal is required to support the proposed development. This is a poor quality specimen that requires replacement regardless of the proposed development.

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	10-15 metres
Health:	Fair
Structure:	Fair
Form:	Poor
Trunk Circumference:	2.04 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	7.56 metres
Structural Root Zone:	2.83 metres

### Observations

This tree is considered to be in fair overall condition as evidenced by the moderately reduced foliage density throughout the crown and the moderate history of branch failure.



<b>Legislative Status</b>	<b>Regulated</b>
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
<b>Retention Rating</b>	<b>Moderate</b>
This tree has a Moderate Retention Rating and could be considered for retention in any future development.	
<b>Development Impact</b>	<b>No Impact</b>
No encroachment into the Tree Protection Zone area has been identified.	
<b>Recommendation</b>	<b>Protect Root Zone</b>
Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.	



## White Cedar

Inspected:	24 November 2020
Height:	5-10 metres
Spread:	5-10 metres
Health:	Good
Structure:	Poor
Form:	Poor
Trunk Circumference:	3.00 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	5.21 metres
Structural Root Zone:	2.43 metres

### Observations

This tree appears to be epicormic growth arising from the stump of a previously removed tree.



### Legislative Status

Unregulated

Whilst this tree has a trunk circumference greater than two metres the average trunk circumference is less than 0.625 metres and therefore it is not regulated by the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Low

This tree has a Low Retention Rating and should not form a material constraint to the redevelopment of this site.

### Development Impact

No Impact

No encroachment into the Tree Protection Zone area has been identified.

### Recommendation

Protect Root Zone

Protect the root zone of this tree in accordance with the recommendations and principles of AS4970-2009.

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	>20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	7.92 metres
Structural Root Zone:	2.90 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.



<b>Legislative Status</b>	<b>Regulated</b>
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
<b>Retention Rating</b>	<b>Moderate</b>
This tree has a Moderate Retention Rating and could be considered for retention in any future development.	
<b>Development Impact</b>	<b>Conflicted</b>
The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.	
<b>Recommendation</b>	<b>Removal Required</b>
Tree removal is required to support the proposed development. This tree appears to be shown to be retained however given the volume of work in its root zone its successful retention is not realistic.	

## Lemon Scented Gum

Inspected:	24 November 2020
Height:	15-20 metres
Spread:	>20 metres
Health:	Good
Structure:	Good
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>20 years
Tree Protection Zone:	8.16 metres
Structural Root Zone:	2.93 metres

### Observations

The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.



Legislative Status	Regulated
This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.	
Retention Rating	Moderate
This tree has a Moderate Retention Rating and could be considered for retention in any future development.	
Development Impact	Conflicted
The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.	
Recommendation	Removal Required
Tree removal is required to support the proposed development.	



## Gum Tree

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	>20 metres
Health:	Fair
Structure:	Good
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>10 years
Tree Protection Zone:	9.24 metres
Structural Root Zone:	3.09 metres

### Observations

This tree is considered to be in fair overall condition as evidenced by the moderate level of dieback of branch tips and borer activity in the trunk.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Moderate

This tree has a Moderate Retention Rating and could be considered for retention in any future development.

### Development Impact

Conflicted

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

Removal Required

Tree removal is required to support the proposed development.

## South Australian Blue Gum

Inspected:	24 November 2020
Height:	5-10 metres
Spread:	10-15 metres
Health:	Poor
Structure:	Good
Form:	Atypical
Trunk Circumference:	>2 metres
Useful Life Expectancy:	<10 years
Tree Protection Zone:	4.17 metres
Structural Root Zone:	2.21 metres

### Observations

The main trunk is dead with only two live branches remaining, this tree has no realistic potential for remediation.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Planning, Development and Infrastructure Act 2016.

### Retention Rating

Low

This tree has a Low Retention Rating and should not form a material constraint to the redevelopment of this site.

### Development Impact

Conflicted

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

Removal Required

Tree removal is required to support the proposed development. This is a poor quality specimen that requires replacement regardless of the proposed development.



## Broad Leafed Paper bark

Inspected:	24 November 2020
Height:	10-15 metres
Spread:	10-15 metres
Health:	Good
Structure:	Fair
Form:	Fair
Trunk Circumference:	>2 metres
Useful Life Expectancy:	>10 years
Tree Protection Zone:	9.12 metres
Structural Root Zone:	3.08 metres

### Observations

This tree is considered to be in fair overall condition due to the presence of a currently stable included bark union in the primary trunk division.



### Legislative Status

Regulated

This tree has a trunk circumference greater than two metres and is not subject to any exemption from regulation and therefore it is identified as a Regulated Tree as defined in the Development Act 1993.

### Retention Rating

Moderate

This tree has a Moderate Retention Rating and could be considered for retention in any future development.

### Development Impact

Conflicted

The identified encroachment is greater than 10% of the TPZ area and will also impact the SRZ and the trunk. There is no opportunity to retain this tree in the current design and its removal is required as part of the development.

### Recommendation

Removal Required

Tree removal is required to support the proposed development.

## Appendix C - Mapping







## Appendix D - Tree Assessment Summary

# Tree Assessment Summary

Tree No.	Botanic Name	Legislative Status	Retention Rating	Development Impact	TPZ Radius	Observations	Recommendation
1	<i>Eucalyptus leucoxylon</i>	Regulated	Moderate	Low	7.32 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.	Protect Root Zone
2	<i>Corymbia citriodora</i>	Regulated	High	No Impact	7.20 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.	Protect Root Zone
3	<i>Corymbia citriodora</i>	Regulated	High	Low	7.68 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.	Protect Root Zone
4	<i>Phoenix canariensis</i>	Regulated	Low	No Impact	5.00 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment. This tree is located on an adjacent property and therefore measurements have been estimated due to access availability.	Protect Root Zone
5	<i>Cupressus macrocarpa</i>	Exempt	Low	Conflicted	15.00 metres	This tree is considered to be in fair overall condition as evidenced by the moderate volume of deadwood and dieback throughout the crown and the species typical stable included bark unions throughout the structure.	Removal Required
6	<i>Corymbia citriodora</i>	Regulated	High	Conflicted	8.64 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.	Removal Required
7	<i>Corymbia citriodora</i>	Regulated	High	Conflicted	8.40 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.	Removal Required



# Tree Assessment Summary

Tree No.	Botanic Name	Legislative Status	Retention Rating	Development Impact	TPZ Radius	Observations	Recommendation
8	<i>Eucalyptus leucoxylon</i>	Regulated	Moderate	Conflicted	7.38 metres	This tree displays good health, however it has poor structure due to having been lopped, the crown now consists entirely of poorly attached epicormic regrowth arising from the lop points. This tree is not sustainable in its current location regardless of the redevelopment of the site.	Removal Required
9	<i>Eucalyptus sideroxylon</i>	Regulated	Moderate	Conflicted	7.80 metres	This tree is considered to be in fair overall condition due to the presence of a currently stable included bark union in the mid crown.	Removal Required
10	<i>Eucalyptus sideroxylon</i>	Regulated	Low	Conflicted	6.03 metres	This tree is considered to be in poor overall condition as indicated by the substantially reduced foliage density, the yellowing foliage and the level of the dieback throughout the crown.	Removal Required
11	<i>Corymbia citriodora</i>	Regulated	Moderate	No Impact	7.56 metres	This tree is consider to be in fair overall condition as evidenced by the moderately reduced foliage density throughout the crown and the moderate history of branch failure.	Protect Root Zone
12	<i>Melia azedarach</i>	Unregulated	Low	No Impact	5.21 metres	This tree appears to be epicormic growth arising from the stump of a previously removed tree.	Protect Root Zone
13	<i>Corymbia citriodora</i>	Regulated	Moderate	Conflicted	7.92 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.	Removal Required
14	<i>Corymbia citriodora</i>	Regulated	Moderate	Conflicted	8.16 metres	The health and structure of this tree indicate it is in good overall condition and has adapted to its local environment.	Removal Required
15	<i>Eucalyptus sp.</i>	Regulated	Moderate	Conflicted	9.24 metres	This tree is considered to be in fair overall condition as evidenced by the moderate level of dieback of branch tips and borer activity in the trunk.	Removal Required

# Tree Assessment Summary

Tree No.	Botanic Name	Legislative Status	Retention Rating	Development Impact	TPZ Radius	Observations	Recommendation
16	<i>Eucalyptus leucoxylon</i>	Regulated	Low	Conflicted	4.17 metres	The main trunk is dead with only two live branches remaining, this tree has no realistic potential for remediation.	Removal Required
17	<i>Melaleuca quinquenervia</i>	Regulated	Moderate	Conflicted	9.12 metres	This tree is considered to be in fair overall condition due to the presence of a currently stable included bark union in the primary trunk division.	Removal Required

## Appendix E - Tree Protection Zone Guidelines

## **Tree Protection Zone General Specifications and Guidelines**

The Tree Protection Zone(s) is identified on the site plan. The TPZ is an area where construction activities are regulated for the purposes of protecting tree viability. The TPZ should be established so that it clearly identifies and precludes development/construction activities including personnel.

If development activities are required within the TPZ then these activities must be reviewed and approved by the Project Arborist. Prior to approval, the Project Arborist must be certain that the tree(s) will remain viable as a result of this activity.

### **Work Activities Excluded from the Tree Protection Zone:**

- a) Machine excavation including trenching;
- b) Excavation for silt fencing;
- c) Cultivation;
- d) Storage;
- e) Preparation of chemicals, including preparation of cement products;
- f) Parking of vehicles and plant;
- g) Refuelling;
- h) Dumping of waste;
- i) Wash down and cleaning of equipment;
- j) Placement of fill;
- k) Lighting of fires;
- l) Soil level changes;
- m) Temporary or permanent installation of utilities and signs, and
- n) Physical damage to the tree.

## Protective Fencing

Protective fencing must be installed around the identified Tree Protection Zone (See Figure1). The fencing should be chain wire panels and compliant with AS4687 - 2007 *Temporary fencing and hoardings*. Shade cloth or similar material should be attached around the fence to reduce dust, other particulates and liquids entering the protected area.

Temporary fencing on 28kg bases are recommended for use as this eliminates any excavation requirements to install fencing. Excavation increase the likelihood of root damage therefore should be avoided where possible throughout the project.

Existing perimeter fencing and other structures may be utilised as part of the protective fencing.

Any permanent fencing should be post and rail with the set out determined in consultation with the Project Arborist.

Where the erection of the fence is not practical the Project Arborist is to approve alternative measures.

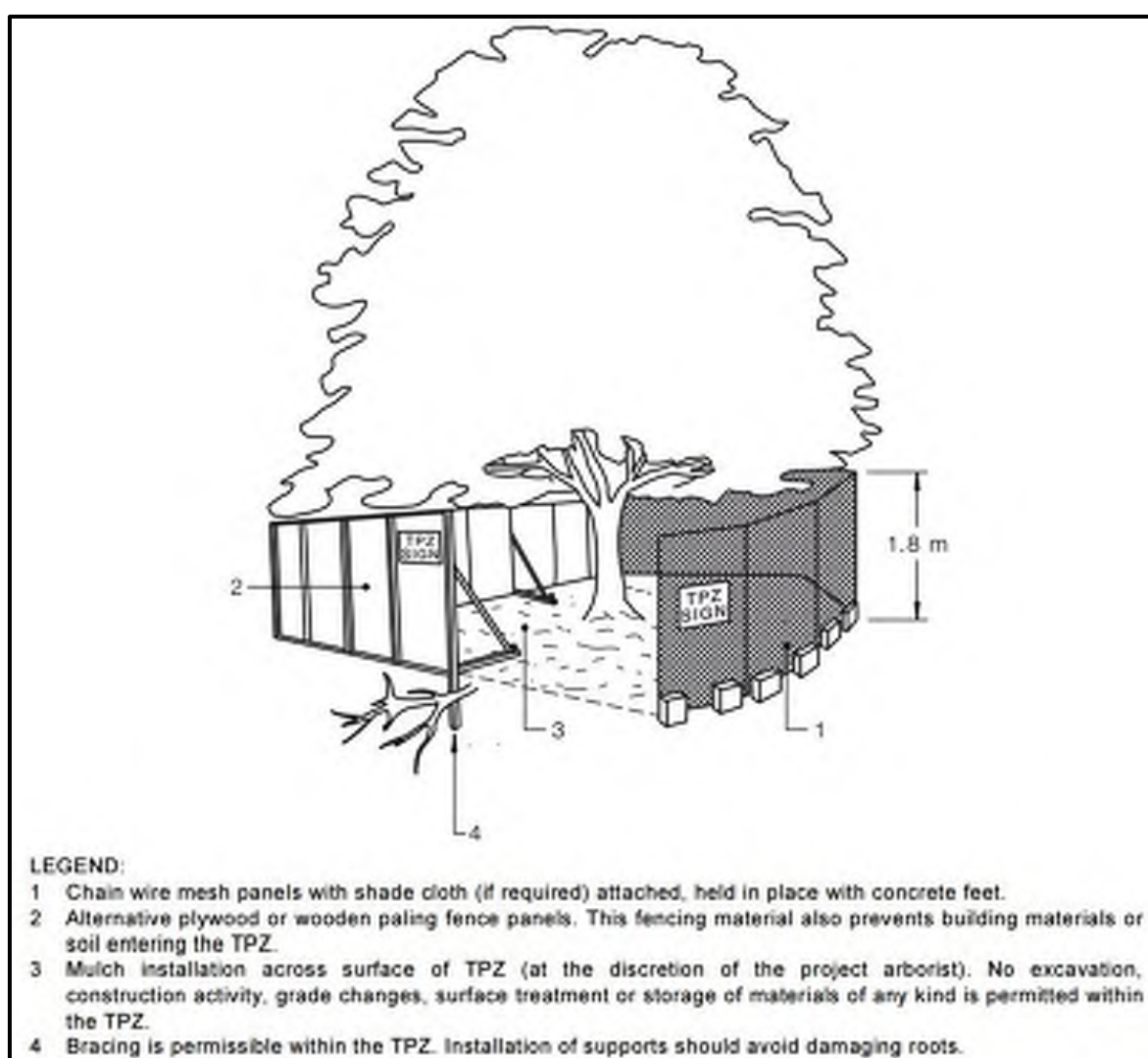


Figure 1 Showing example of protection fencing measures suitable.



## Other Protection Measures

### General

When a TPZ exclusion area cannot be established due to practical reasons or the area needs to be entered to undertake construction activities then additional tree protection measures may need to be adopted. Protection measures should be compliant with AS4970-2009 and approved by the Project Arborist

### Installation of Scaffolding within Tree Protection Area.

Where scaffolding is required within the TPZ branch removal should be minimised. Any branch removal required should be approved by the Project Arborist and performed by a certified Arborist and performed in accordance with AS4373-2007. Approval to prune branches must be documented and maintained.

Ground below scaffold should be protected by boarding (e.g. scaffold board or plywood sheeting) as shown in Figure below. The boarding should be left in place until scaffolding is removed.

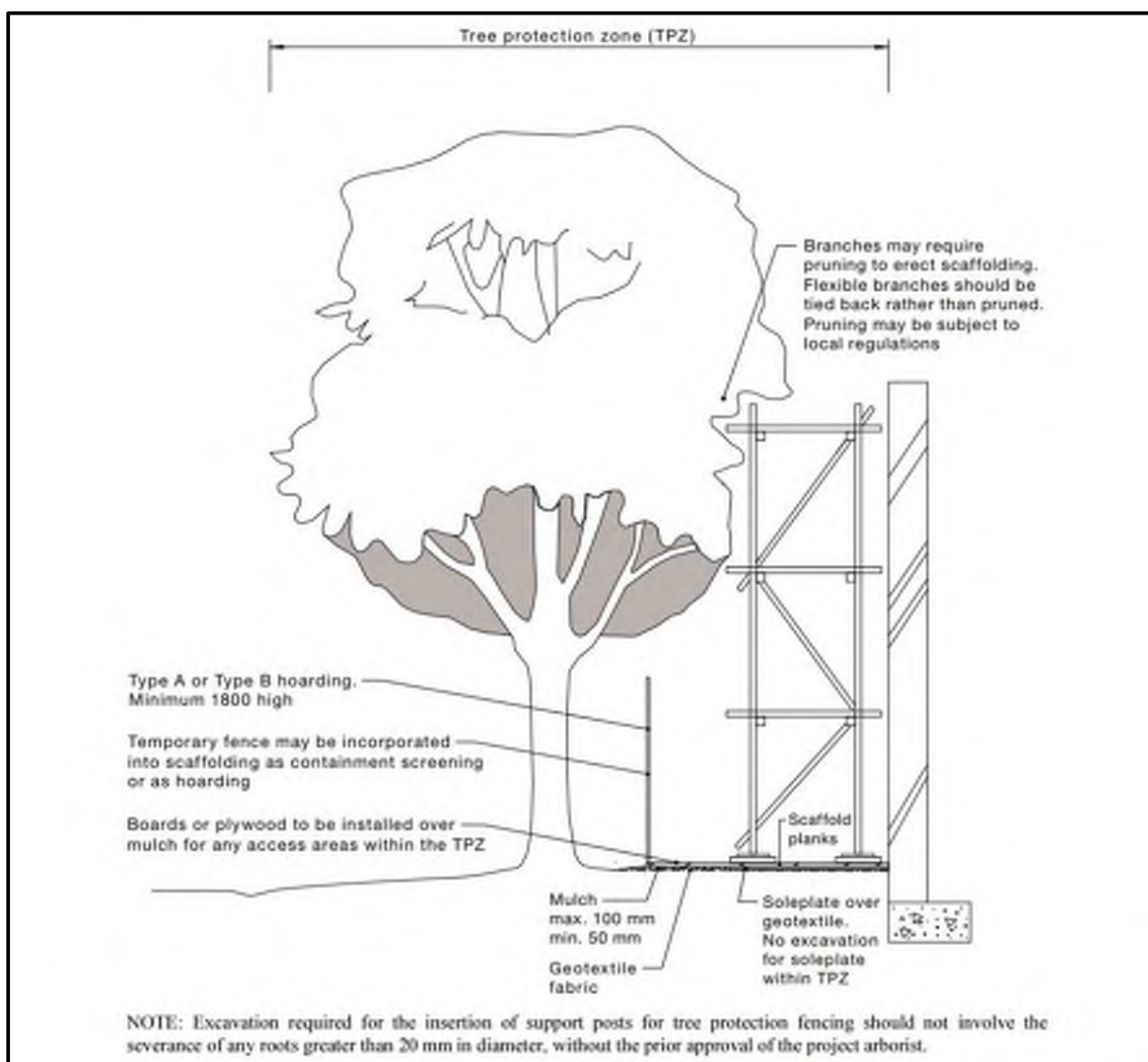


Figure 2 – Showing scaffolding constructed within TPZ.

## Ground Protection

Where access is required within the TPZ ground protection measures are required. Ground protection is to be designed to prevent both damage to the roots and soil compaction.

Ground protection methods include the placement of a permeable membrane beneath a layer of non-compactable material such as mulch or a no fines gravel which is in turn covered with rumble boards or steel plates.

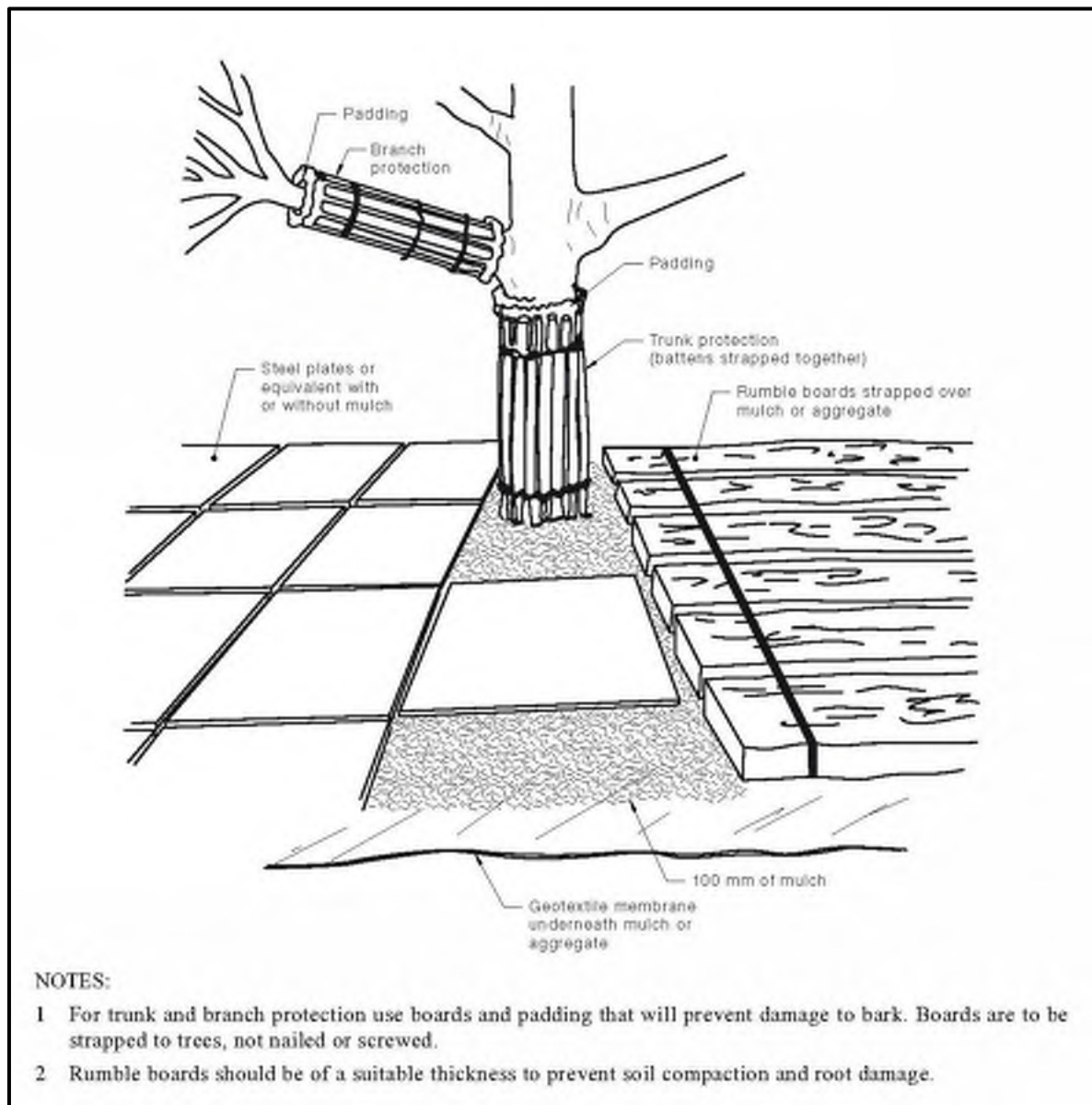


Figure 3 – Ground protection methods.

## Document Source:

Diagrams in this document are sourced from AS4970-2009 Protection of trees on development sites. Further information and guidelines are available in within that document.

### Paving Construction within a Tree Protection Zone

Paving within any Tree Protection Zone (TPZ) must be carried out above natural ground level unless it can be shown with non-destructive excavation (AirSpade® or similar) that no or insignificant root growth occupies the proposed construction area.

Due to the adverse effect filling over a Tree Protection Zone (TPZ) can have on tree health; alternative mediums other than soil must be used. Available alternative mediums include structural soils or the use of a cellular confinement system such as *Ecocell*®.

### Ecocell®

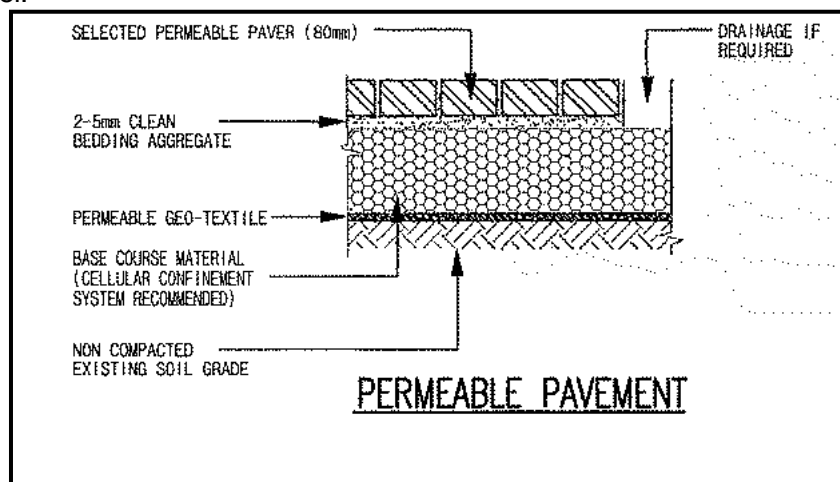
Ecocell® systems are a cellular confinement system that can be filled with large particle sized gravels as a sub-base for paving systems to reduce compaction to the existing grade.

### Site preparation

- Clearly outline to all contracting staff entering the site the purpose of the TPZ's and the contractors' responsibilities. No fence is to be moved and no person or machinery is to access the TPZ's without consent from the City of Unley and/or the Project Arborist.
- Fence off the unaffected area of the TPZ with a temporary fence leaving a 1.5 metre gap between the work area and the fence; this will prevent machinery access to the remaining root zone.

### Installation of Ecocell® and EcoTrihex Paving®

- Install a non-woven geotextile fabric for drainage and separation from sub base with a minimum of 600mm overlap on all fabric seams as required.
- Add Ecocell®, fill compartments with gravel and compact to desired compaction rate.
- If excessive groundwater is expected incorporate an appropriate drainage system within the bedding sand level.
- Add paving sand to required depth and compact to paving manufacturer's specifications.
- Lay EcoTrihex Paving® as per manufactures specifications and fill gaps between pavers with no fines gravel.
- Remove all debris, vegetation cover and unacceptable in-situ soils. No excavation or soil level change of the sub base is allowable for the installation of the paving.
- Where the finished soil level is uneven, gullies shall be filled with 20 millimetre coarse gravel to achieve the desired level.



This construction method if implemented correctly can significantly reduce and potentially eliminated the risk of tree decline and/or structural failure and effectively increase the size of the Tree Protection Zone to include the area of the paving.

## Certificates of Control

Stage in development	Tree management process	
	Matters for consideration	Actions and certification
Development submission	Identify trees for retention through comprehensive arboricultural impact assessment of proposed construction. Determine tree protection measures Landscape design	Provide arboricultural impact assessment including tree protection plan (drawing) and specification
Development approval	Development controls Conditions of consent	Review consent conditions relating to trees
<b>Pre-construction (Sections 4 and 5)</b>		
Initial site preparation	State based OHS requirements for tree work  Approved retention/removal  Refer to AS 4373 for the requirements on the pruning of amenity trees  Specifications for tree protection measures	Compliance with conditions of consent  Tree removal/tree retention/transplanting  Tree pruning Certification of tree removal and pruning  Establish/delineate TPZ Install protective measures Certification of tree protection measures
<b>Construction (Sections 4 and 5)</b>		
Site establishment	Temporary infrastructure Demolition, bulk earthworks, hydrology	Locate temporary infrastructure to minimize impact on retained trees Maintain protective measures Certification of tree protection measures
Construction work	Liaison with site manager, compliance Deviation from approved plan	Maintain or amend protective measures Supervision and monitoring
Implement hard and soft landscape works	Installation of irrigation services Control of compaction work Installation of pavement and retaining walls	Remove selected protective measures as necessary Remedial tree works Supervision and monitoring
Practical completion	Tree vigour and structure	Remove all remaining tree protection measures Certification of tree protection
<b>Post construction (Section 5)</b>		
Defects liability/maintenance period	Tree vigour and structure	Maintenance and monitoring Final remedial tree works Final certification of tree condition

### Document Source:

This table has been sourced from AS4970-2009 Protection of trees on development sites. Further information and guidelines are available in within that document.



# Tree Protection Zone



## NO ACCESS

Contact: Arborman Tree Solutions

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**ALLAN SCOTT HEADQUARTERS UPGRADE  
BROUGHAM PLACE, ALBERTON**

**TRAFFIC AND PARKING REPORT**



**CIRQA™**

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## DOCUMENT CONTROL

Report title: Allan Scott Headquarters Upgrade, Brougham Place, Alberton  
Traffic and Parking report

Project number: 20347

Client: Australian Construction Services Pty Ltd

Client contact: John Kantilaftas

Version	Date	Details/status	Prepared by	Approved by
Draft	14 Dec 20	For review	JJB	BNW
V1	04 Feb 21	For Submission	JJB	BNW
V1.1	26 May 21	Minor update	JJB	BNW
V1.2	09 Jun 21	Minor update	JJB	BNW

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## **1. INTRODUCTION**

CIRQA has been engaged to provide design and assessment advice for the upgrade of the Port Adelaide Football Club's (PAFC's) Allan Scott Power Headquarters at Brougham Place, Alberton. Specifically, CIRQA has been engaged to provide advice in respect to traffic and parking aspects of the proposal.

This report provides a review of the subject site, the proposed development, its access and parking provisions and the associated traffic impact on the adjacent road network. The traffic and parking assessments have been based upon plans prepared by Hames Sharley (drawing no. 32025 DA120 rev 14, dated 10/05/21, refer Appendix A).

## **2. BACKGROUND**

### **2.1 SUBJECT SITE**

The subject site is located to the south of Brougham Place and Seventh Avenue. The site is bound by Brougham place to the north, Seventh Avenue to the east, residential dwellings to the south and Queen Street/Fifth Avenue to the west. The Planning and Design Code identifies that the site is located within a Recreation Zone. The following overlays apply to the proposal:

- Airport Building Heights (Regulated) (All structures over 110 metres)
- Hazards (Flooding)
- Heritage Adjacency
- Hazards (Flooding General)
- Local Heritage Place
- Prescribed Wells Area
- Regulated and Significant Tree
- Traffic Generating Development

The subject site is currently occupied by the Allan Scott Headquarters (Port Adelaide Football Club). Access to the headquarters is provided via Brougham Place and Seventh Avenue, at which all turning movements are permitted. It is noted that that 'The Port Club' and the Port Adelaide Bowling Club are located within the overall site but are not relevant to the proposal with their current operating arrangements to continue into the future (separate access and parking provisions to the Allan Scott Headquarters).

## 2.2 ADJACENT ROAD NETWORK

Brougham Place is a local road under the care and control of the City of Port Adelaide Enfield. Brougham Place comprises a 9.4 m wide carriageway (approximate) with a single traffic lane in each direction. Traffic data obtained from the City of Port Adelaide Enfield indicates that this section of Brougham Place has an Annual Average Daily Traffic (AADT) volume in the order of 1,100 vehicles per day (vpd). A 50 km/h speed limit applies on Brougham Place.

Seventh Avenue is a local road under the care and control of the City of Port Adelaide Enfield. Seventh Avenue comprises a 7.9 m wide carriageway (approximate) with a single traffic lane in each direction. A 50 km/h speed limit applies on Seventh Avenue.

Figure 1 illustrates the location of the subject site and associated access with respect to the adjacent road network.



*Figure 1 – Location of the subject site and existing access with respect to the adjacent road network*

## 2.3 WALKING AND CYCLING

Sealed footpaths are provided on both sides of Brougham Place and on the eastern side of Seventh Avenue, servicing both pedestrians and cyclists. Cyclists are also able to cycle on-street sharing the road with motorists. It is noted that the subject site is also located within 170 m of the Outer Harbor Greenway.



## **2.4 PUBLIC TRANSPORT**

Public transport services operate frequently within close proximity to the subject site. Bus stops are located within 400 m of the Allan Scott Headquarters on Port Road (on both sides). These stops are serviced by the following bus routes:

- 150 – Osborne to City
- 150B – City to Largs Bay
- 150P – City to Port Adelaide Interchange

The Cheltenham Railway Station is located within 250 m of the subject site. Frequent train services operating along the Outer Harbor Railway Line service the train station.

## **3. PROPOSED DEVELOPMENT**

### **3.1 LAND USE AND YIELD**

The proposed development comprises the demolition of a parking area to the south of the Allan Scott Headquarters and the renovation and expansion of the existing building. The expansion will include a publicly accessible soccer pitch and two indoor basketball courts.

Information provided by the PAFC regarding the proposed renovation and expansion indicates that the proposed works will not result in an increase in the maximum number of players/staff on-site at any one time (during daily business hours operation).

The public soccer pitch and basketball courts will be utilised by community sports groups outside of business hours. It has also been advised that the soccer pitches will be used for junior soccer and that the soccer pitch and basketball courts will not be available for public use during football games and training at Alberton Oval.

### **3.2 ACCESS AND PARKING DESIGN**

As part of the proposal, 84 existing parking spaces will be removed. These will be replaced with a new 65 space parking area adjacent the Allan Scott Headquarters and a new 85 space parking area to the south east of the oval. In addition, 12 existing spaces to the north of the Allan Scott Headquarters will be retained (resulting in a total provision of 162 parking spaces). This includes the provision of four spaces reserved exclusively for use by people with disabilities.

The new parking area will comply with the requirements of Australian/New Zealand Standard, *Parking Facilities Part 1: Off-street car parking* (AS/NZS

2890.1:2004) and Australian/New Zealand Standard, *Parking Facilities Part 6: Off-street parking for people with disabilities* (AS/NZS 2890.6:2009) in that:

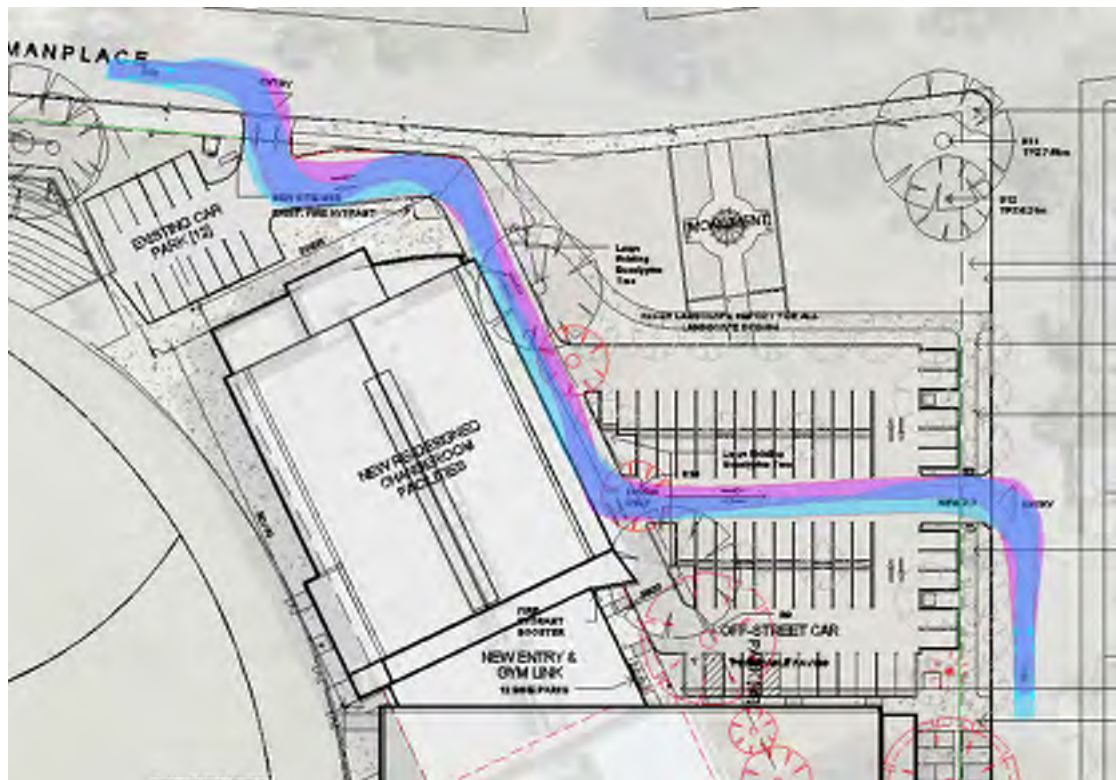
- regular parking spaces will be at least 2.5 m wide and 5.4 m long (or 4.8 m long with 0.6 m overhang);
- small car spaces will be at least 2.3 m wide and 5 m long;
- disabled parking spaces will be 2.4 m wide and 5.4 m long (with an adjacent shared space of the same dimension);
- the parking aisle will be at least 5.8 m wide;
- a 1 m aisle extension will be provided beyond the last parking space in the aisle;
- 0.3 m clearance will be provided to all objects greater than 0.15 m in height; and
- pedestrian sightlines will be provided at the site's property boundary.

Vehicle access to the northern parking area will be provided via an existing 6m wide (approximate) two-way access point on Brougham Place and a new 6 m wide two-way access point on Seventh Avenue. Simultaneous turning movements will be accommodated at the access points. All vehicles will be able to enter and exit the site in a forward direction.

The southern parking area will be accessed via a 6 m wide two-way access point on Seventh Avenue. Simultaneous turning movements will be accommodated at the access points. All vehicles will be able to enter and exit the site in a forward direction.

### **3.3 REFUSE COLLECTION, DELIVERIES AND SERVICING**

Deliveries and servicing will continue to be undertaken as per existing arrangements (i.e. within the existing northern car parking accessed via Brougham Place). Rigid commercial vehicles up to 11 m in length would also be able to access the site via the new northern access point on Seventh Avenue and connect through the site to the Brougham Place car park and access point. Figure 2 below illustrates the turn paths of an 11 m rigid vehicle accessing the site (in both directions).



## 4. PARKING ASSESSMENT

## 4.1 CAR PARKING

The parking demand associated with the proposed expansion of the Allan Scott Headquarters can be separated into two scenarios:

- **Scenario 1:** PAFC hours of operation – parking demands associated with the typical daily operations of the Port Adelaide Football Club as well as periods associated with training and games; and
- **Scenario 2:** Community (out of PAFC) hours of operation (generally evenings/weekends) – parking demands associated with the proposed soccer pitch and basketball courts.

#### 4.1.1 SCENARIO 1 - PAFC HOURS OF OPERATION

As the proposed expansion of the Allan Scott Headquarters is not anticipated to increase the maximum number of staff/players on-site at any one time, no additional parking spaces will be required on-site to cater for PAFC related demands. The 84 parking spaces demolished are proposed to be replaced by 150 new parking spaces on-site (which will exceed the typical PAFC parking demands) plus the 12 retained existing spaces.

#### **4.1.2 SCENARIO 2 – COMMUNITY HOURS OF OPERATION**

The Planning and Design Code identifies a parking requirement for indoor recreation facilities of 4.5 per 100 m<sup>2</sup> per gross floor area. Based upon this rate, the 1,143 m<sup>2</sup> public basketball courts (not including facilities shared between the soccer pitch and basketball courts) would require 52 parking spaces. The Development Plan does not specify a parking rate relevant to the soccer pitch.

A parking requirement of 40 parking spaces per soccer pitch has been observed and adopted (and accepted) for similar sports hubs in metropolitan Adelaide. Such a rate has been determined from surveys of soccer pitches in Adelaide. It is noted that these rates include allowance for participants, umpires, coaches, spectators and club staff.

On this basis, the peak community use (non-PAFC) parking demand would be in the order of 92 parking spaces (assuming that the soccer pitch and two basketball courts are in operation at the same time). It is proposed that 162 parking spaces will service the Allan Scott Headquarters and proposed community sports facilities. The parking demand associated with the proposed soccer pitch and basketball courts will therefore be easily satisfied by the on-site parking provisions.

It is noted that other uses operate on the subject site (The Port Club, Port Adelaide Bowling Club and football matches). The parking provisions associated with these uses are not proposed to change as part the proposal.

#### **4.2 BICYCLE PARKING**

A total of 12 bicycle parking spaces (6 rails) have been included in the proposal. This number of bicycle parking spaces is considered adequate for the proposal. Should additional parking spaces be required by Council, there is ample space on-site to accommodate an increase in provision. If desired by Council, the application could be conditioned accordingly.

### **5. TRAFFIC ASSESSMENT**

#### **5.1 TRAFFIC GENERATION AND DISTRIBUTION**

##### **5.1.1 SCENARIO 1 – PAFC HOURS OF OPERATION**

The peak hour(s) trip generation and distribution associated with the business hours operation of the Allan Scott Headquarters is anticipated to remain as per the existing situation. This is due to there being no additional staff on-site due to the proposal (compared to the current conditions) and access to the parking area to remain via Brougham Place and Seventh Avenue.



## **5.1.2 SCENARIO 2 - COMMUNITY HOURS OF OPERATION**

Based on similar projects undertaken by CIRQA, recreational facilities such as the proposed soccer pitch and basketball courts, typically generate a turnover of one trip per parking space (based on total demand, not provision on-site). On this basis, it is anticipated that the proposal will generate in the order of 92 peak hour traffic movements during the community related hours of operation (assuming that the soccer pitch and basketball courts are in operation at the same time).

Based on the location of the parking spaces and access points, it is anticipated that 7.5% of on-site movements will occur via the Brougham Place access point and 92.5% via the two Seventh Avenue access points. Movements would be distributed to/from the nearby arterial roads and would be readily accommodated at the access points and on the adjacent road network.

Traffic counts from the City of Port Adelaide Enfield have indicated that Brougham Place has an AADT of 1,100 vehicles per day. Assuming that 10% of this volume would occur during the peak hour, this would equate to 110 peak hour movements on Brougham Place. Assuming that the peak periods of the sports precinct and the road network would overlap (unlikely in reality), it is anticipated that in the order of 41 additional peak hour trips could occur on sections of Brougham Place. A total of 151 peak hour trips is within the typical peak hour capacity of a local two-way suburban street and is not anticipated to have any major impact on the function or classification of the road.

Similarly on Seventh Avenue, it is anticipated that in the order of 51 additional trips could occur on sections of Seventh Avenue. Although traffic counts are unavailable at the time of writing, it is anticipated that volumes would be similar to that observed on Brougham Place (in the order of 110 peak hour movements). Assuming that the peak periods of the sports precinct and the road network would overlap (again, unlikely), it is anticipated that 151 peak hour trips would occur on Seventh Avenue. Such volumes would also be within the capacity of a two-way local road and is not anticipated to have any major impact on the function or classification of the road.

It is reiterated that, in reality, the network peak is unlikely to overlap the peak traffic generation of the community sports facility. Therefore, the number of vehicles on Brougham Place and Seventh Street are likely to be less than forecast above.

Additional trips on other nearby local roads would be less than that forecast for Brougham Place and Seventh Street. The traffic generated by the proposed soccer pitch and basketball courts would therefore have a minimal impact on the function and nature of the nearby roads.

It is noted that these movements would be less than the peak hour volumes generated by the regular football games held at Alberton Oval, and should be readily accommodated on the adjacent road network.

## **6. SUMMARY**

The proposal comprises the demolition of 84 on-site parking spaces and the renovation and expansion of the Allan Scott Headquarters. The expansion will include a public soccer pitch and two indoor basketball courts. The public sports facilities will operate outside of business hours (when the Allan Scott Headquarters will be in use) and will not occur concurrently with football games at Alberton Oval. The 84 demolished on-site parking spaces will be replaced by 150 new parking spaces on-site. This equates to 162 parking spaces servicing the proposal.

The proposal will be serviced by 162 parking spaces (12 existing and 150 proposed parking spaces) increasing the sites parking provision. The proposal will not increase the maximum number of staff/players on-site at any one time (during hours of operation associated with the PAFC). As the existing parking provision will be increased, the peak PAFC related parking demand will be accommodated as per the existing arrangement.

Traffic generation and distribution during typical PAFC hours of operation are not anticipated to change as a result of the proposal. As previously mentioned, maximum staff/player numbers on-site are not proposed to change and access to parking areas will remain via Brougham Place and Seventh Avenue.

The soccer pitch and basketball courts will operate after PAFC hours (typically evenings and weekends albeit not during PAFC games or training sessions). Based on surveys of similar sports facilities and rates identified in the Planning Code, the proposal will require 92 parking spaces to satisfy the peak after hours parking demand associated with the proposal. The 162 on-site parking spaces would readily accommodate the forecast parking demands on-site with no reliance on on-street parking.

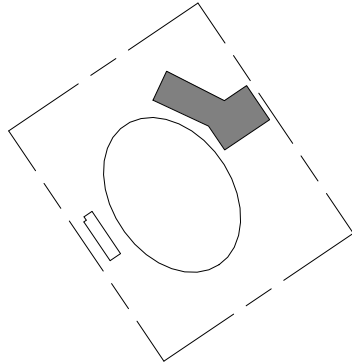
Recreational facilities such as the one proposed, typically generate a turnover of one trip per parking space (based on the total parking demand). If the soccer pitch and two basketball courts were operating concurrently, the proposal could generate 92 peak after hour trips. The majority of trips would be to/from the on-site parking areas with trips distributed to/from the nearby arterial roads. It is anticipated that these trips would be readily accommodated at the nearby intersections and wider road network.

# **APPENDIX A**

## **HAMES SHARLEY PLANS**



Key Plan



# ALLAN SCOTT HEADQUARTERS UPGRADE

PORT ADELAIDE FOOTBALL CLUB



DEVELOPMENT APPLICATION DRAWING LIST		
Sheet Name	Sheet Number	REV #
Cover	DA001	4
Existing Site Plan	DA100	3
Existing Survey	DA101	2
Lot Plan	DA102	3
Lot Plan - Proposed	DA103	2
Demolition Site Plan	DA110	3
Proposed Site Plan	DA120	14
Shadow Diagram	DA150	3
Existing Floor Plan - Ground	DA200	3
Existing Floor Plan - Level 01	DA201	3
Demolition Floor Plan - Ground	DA210	3
Demolition Floor Plan - Level 01	DA211	3
Demolition Roof Plan - Level 02	DA212	3
Proposed Floor Plan - Ground	DA220	8
Proposed Floor Plan - Level 01	DA221	4
Roof Plan	DA230	6
Elevation	DA401	5
Elevation	DA402	4
Elevation	DA403	3
Elevation	DA404	4
Overall Section	DA500	7
Section	DA501	6
Fire Compartment Area Plans	DA1100	3

4	10/05/21	LG	For Development Approval
3	14/12/20	LG	For Information
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description

Client



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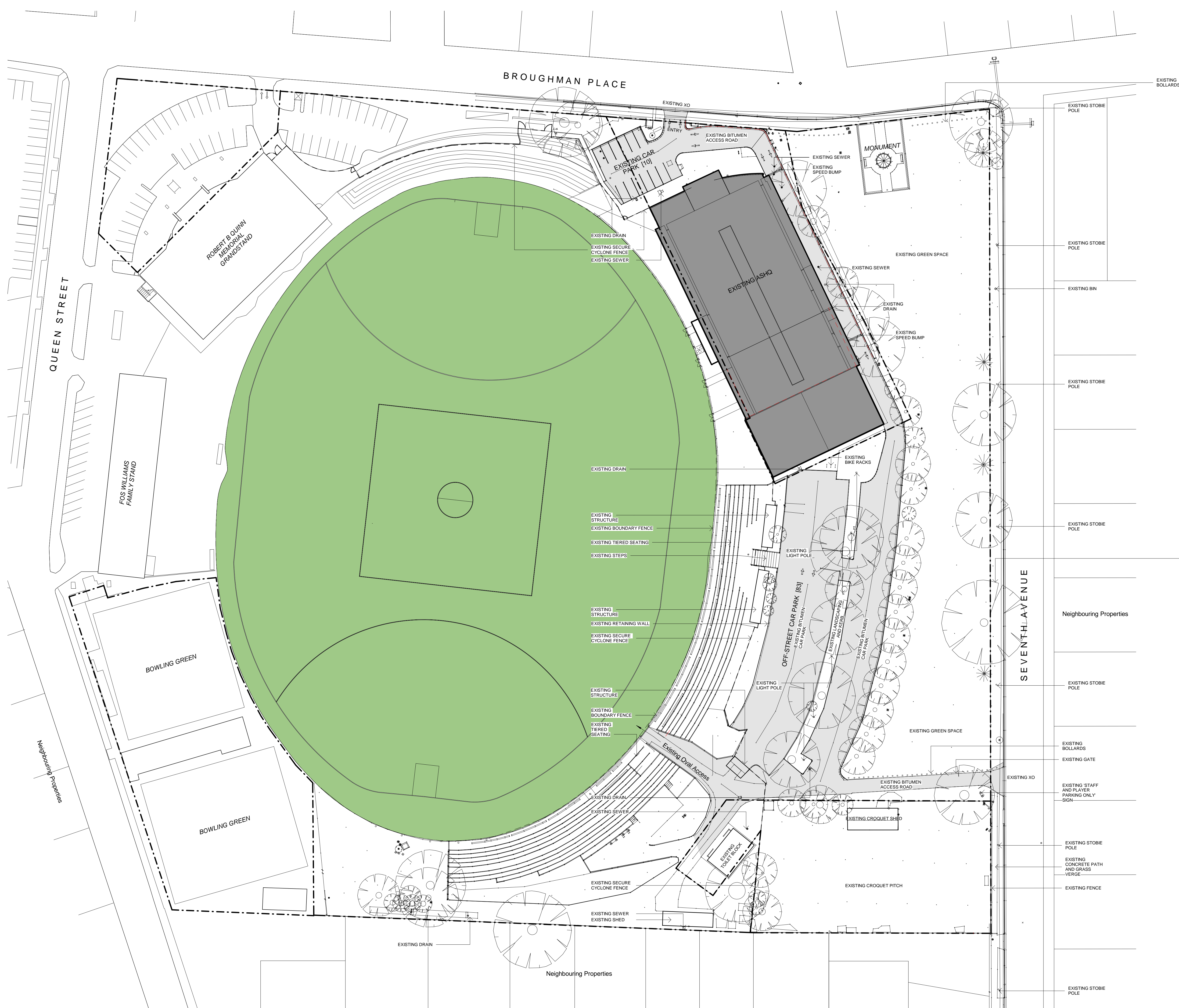
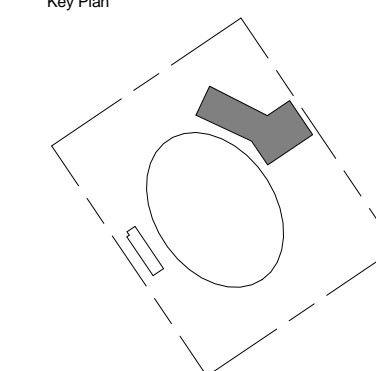
Project  
ASHQ

Brougham PI, Alberton SA 5014

Drawing Title  
COVER SHEET

Drawn By BS	Checked By LG	Scale @ A1
Project No. 32025	Drawing No. DA001	Revision 4
Status DEVELOPMENT APPROVAL		





LOOKING NORTH UP SEVENTH AVENUE

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



## HAMES SHARLEY

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Project  
ASHQ

Brougham Pl, Alberton SA 5014

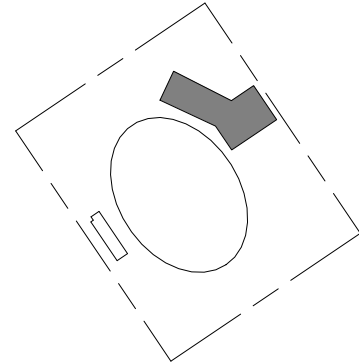
Drawing Title  
**EXISTING  
SITE PLAN**

Drawn By BS	Checked By LG	Scale @ A1 1 : 500
Project No. 32025	Drawing No. DA100	Revision 3

Status  
DEVELOPMENT APPROVAL



Key Plan



2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

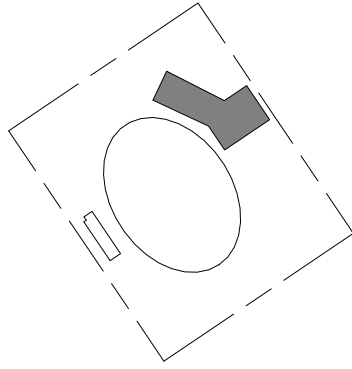
Brougham Pl, Alberton SA 5014

Drawing Title  
SURVEY

Drawn By	Checked By	Scale @ A1
BS	LG	1 : 500
Project No.	Drawing No.	Revision
32025	DA101	2
Status	DEVELOPMENT APPROVAL	



Key Plan



3	10/05/21	LG	For Development Approval
2	09/01/20	LG	Issue to Consultants
1	14/12/20	LG	For Information
Rev.	Date	Initial	Description

Client



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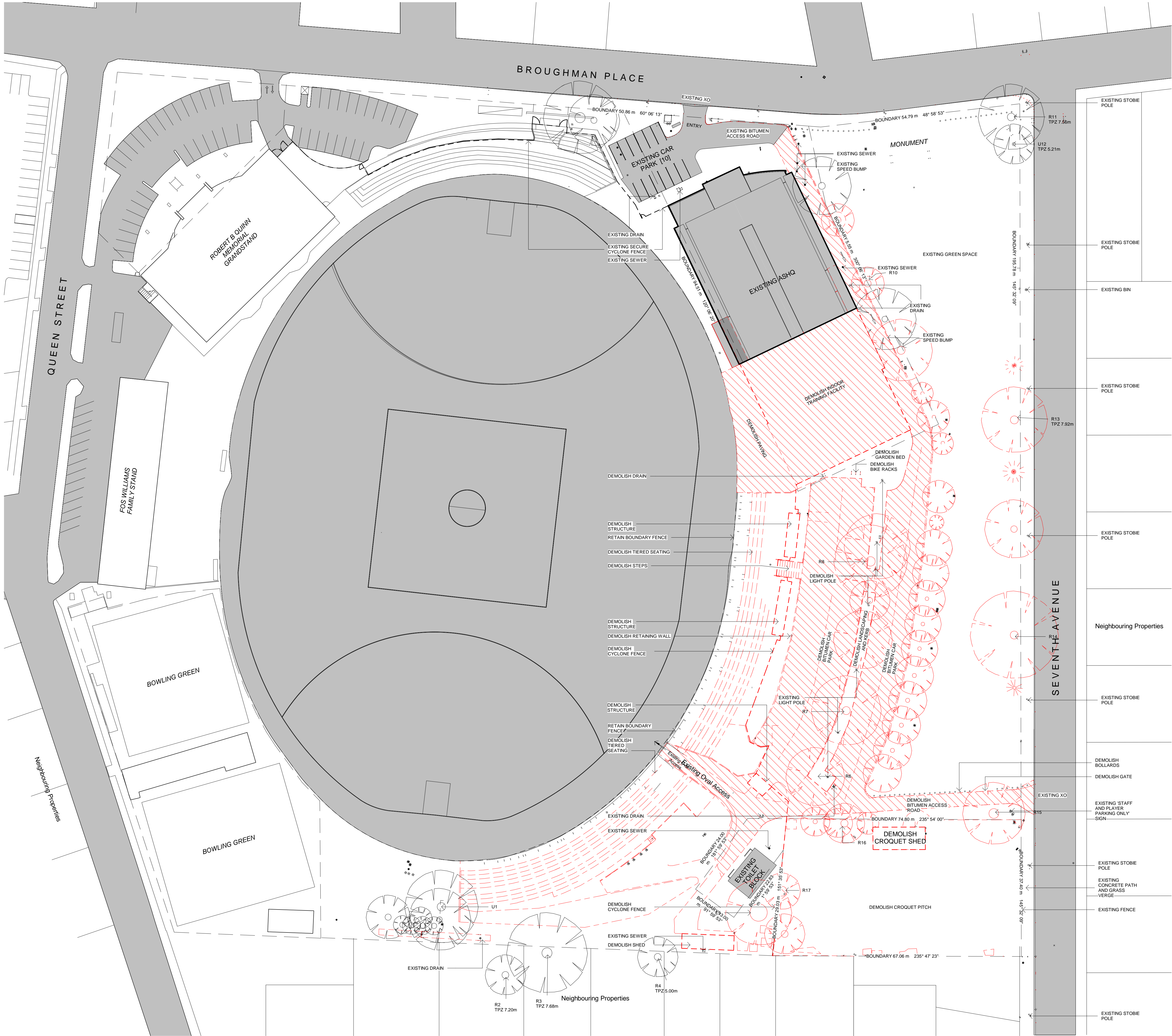
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ASHQ

Brougham Pl, Alberton SA 5014

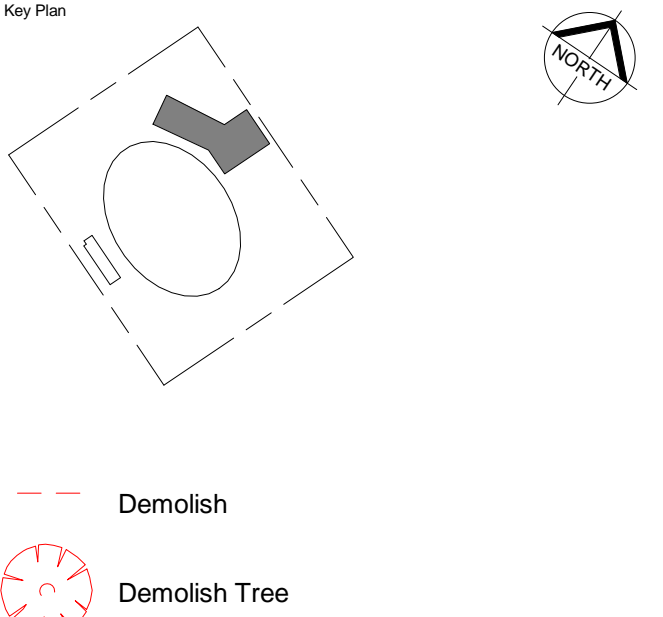
Drawing Title  
Lot Plan

Drawn By BS	Checked By LG	Scale @ A1 1 : 500
Project No. 32025	Drawing No. DA102	Revision 3
Status DEVELOPMENT APPROVAL		





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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.  
ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.



- DEMOLITION NOTES
1. COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE
  2. EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
  3. ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP FACILITATE NEW BUILDING CONNECTIONS.
  4. ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
  5. ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT
  6. ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
  7. EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
  8. THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE.
  9. THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
  10. REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
  11. UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
  12. MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
  13. CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION
  14. WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
  15. FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
  16. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
  17. MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
  18. PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL
  19. WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED
  20. ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description



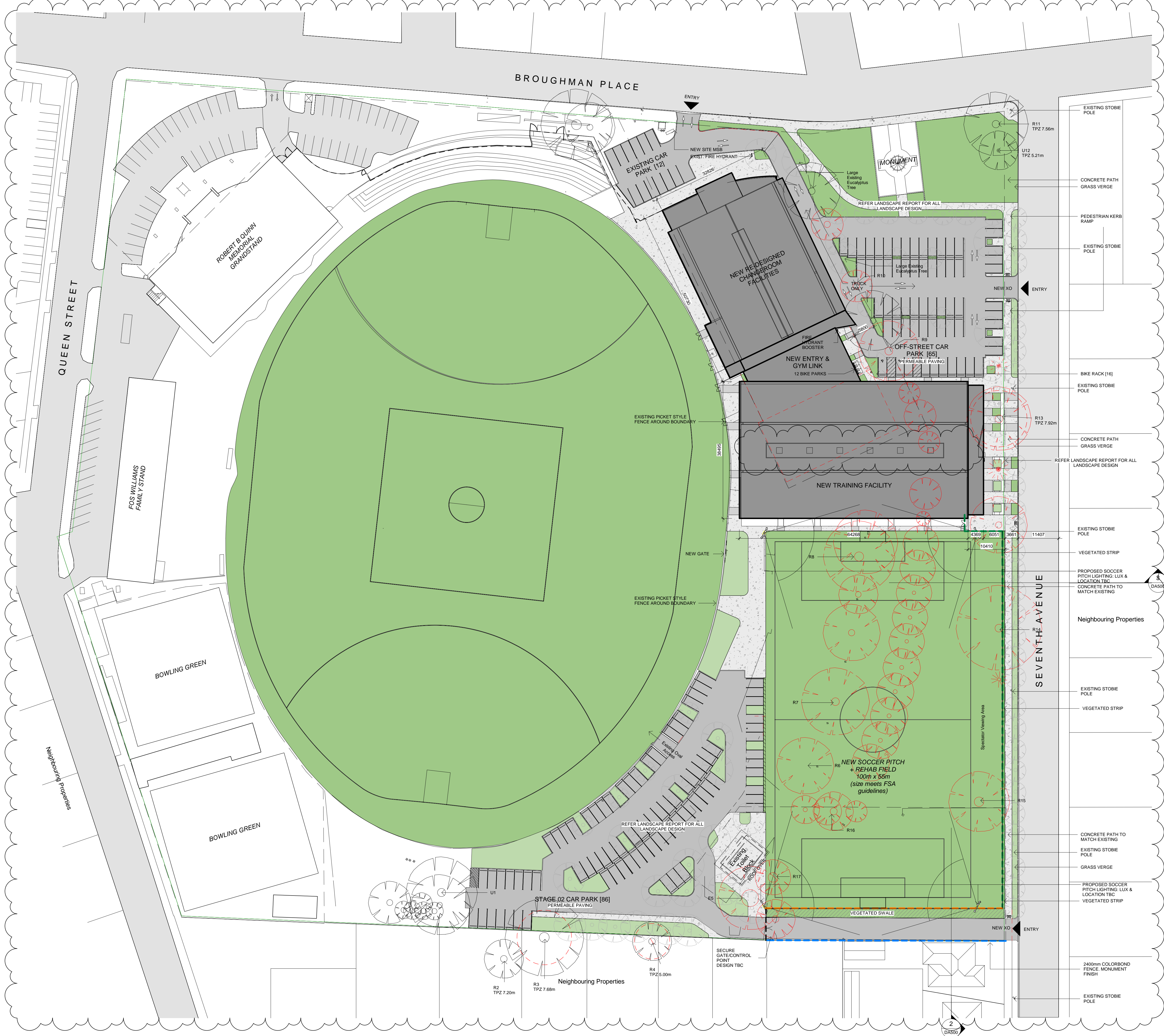
**Hames Sharley**  
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Project  
**ASHQ**  
Brougham Pl, Alberton SA 5014

Drawing Title  
**DEMOLITION SITE PLAN**

Drawn By BS	Checked By LG	Scale @ A1 As indicated
Project No. <b>32025</b>	Drawing No. <b>DA110</b>	Revision <b>3</b>
Status <b>DEVELOPMENT APPROVAL</b>		

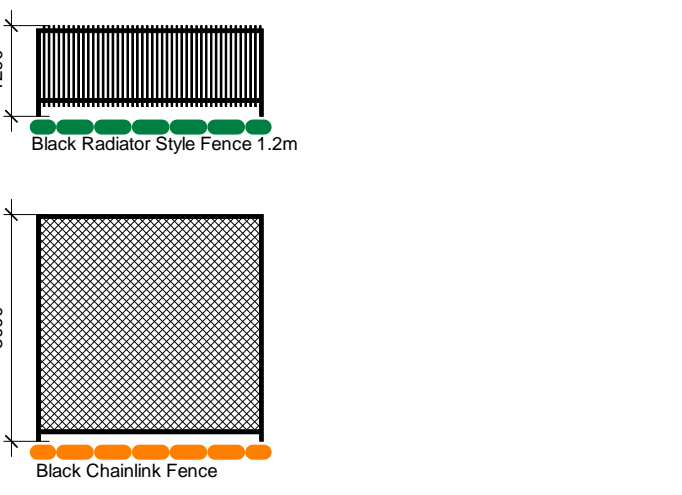




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ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.



- LEGEND
- Existing Tree
  - Tree to be removed
  - Proposed Tree
- NOTE: If the proposed encroachment is greater than 10% of the area of the TPZ the arborist must demonstrate that the tree would remain viable



14	10/05/21	LG	For Development Approval
13	29/04/21	LG	Acoustic Screen
12	23/04/21	LG	Car Park Amended
11	13/04/21	LG	Site Plan Amended for Council
10	19/02/21	LG	Soccer Pitch Fence Revision
9	16/02/21	LG	For Development Approval
8	27/01/21	LG	Updated Lighting
7	22/01/20	LG	Revised Car Park
6	08/01/20	LG	Issue to Consultants
5	14/12/20	LG	For Information
4	14/12/20	LG	Signage
3	14/12/20	LG	Revised Soccer Pitch Fence & Height
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description



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Project  
**ASHQ**

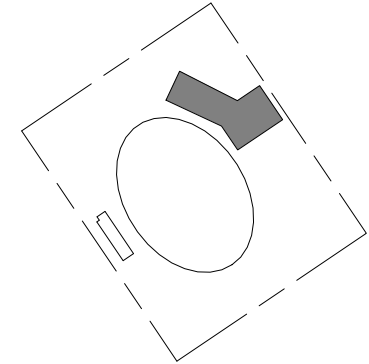
Broughman Pl, Alberton SA 5014

Drawing Title  
**PROPOSED  
SITE PLAN**

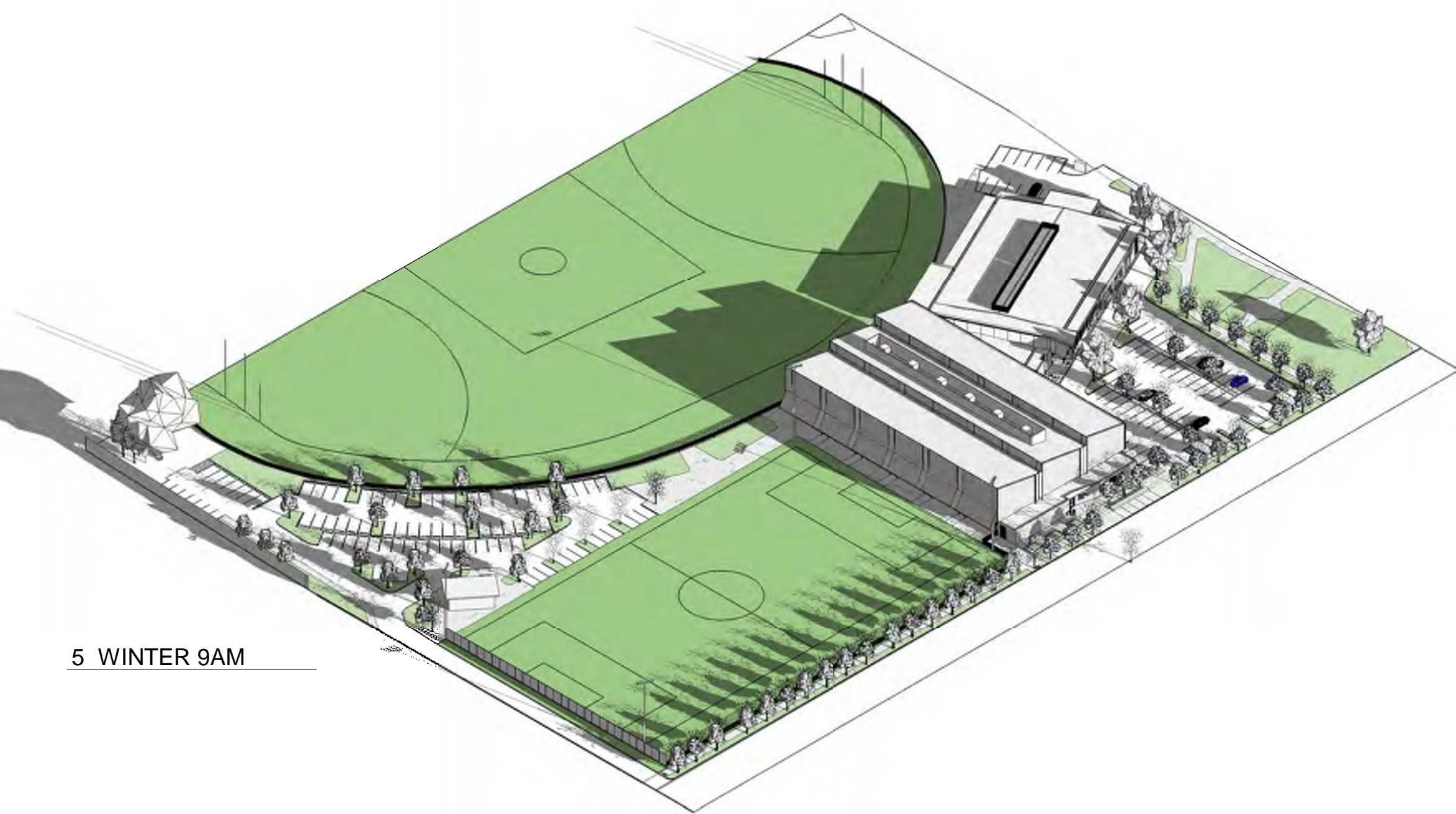
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Project No. 32025	Drawing No. DA120	Revision 14

Status  
**DEVELOPMENT APPROVAL**

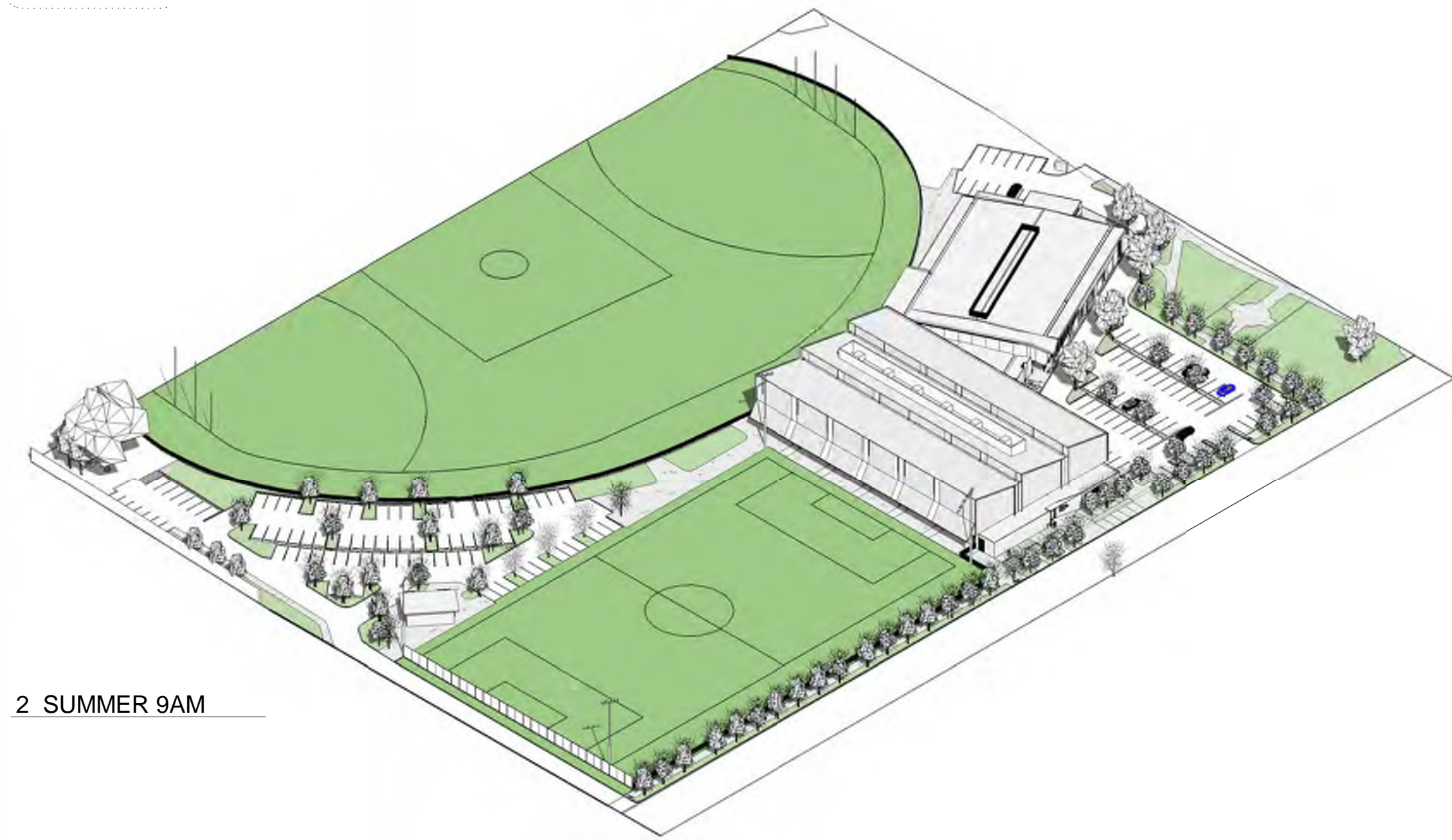




3 SUMMER 12AM



5 WINTER 9AM



2 SUMMER 9AM



6 WINTER 12AM



1 SUMMER 3PM



4 WINTER 3PM

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project  
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Brougham Pl, Alberton SA 5014

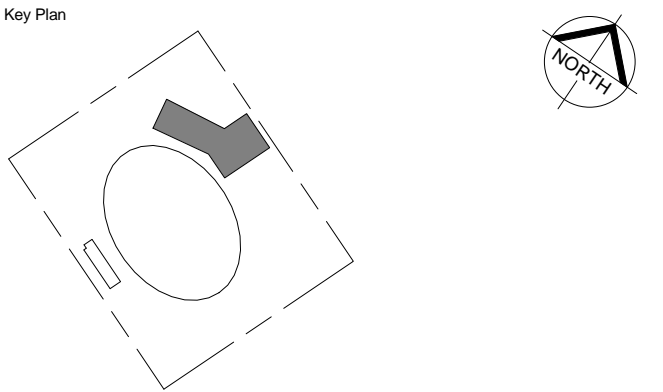
Drawing Title  
SHADOW DIAGRAMS

Drawn By	Checked By	Scale @
BS	LG	A1
Project No.	Drawing No.	Revision
32025	DA150	3
Status	DEVELOPMENT APPROVAL	





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3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Brougham Pl, Alberton SA 5014

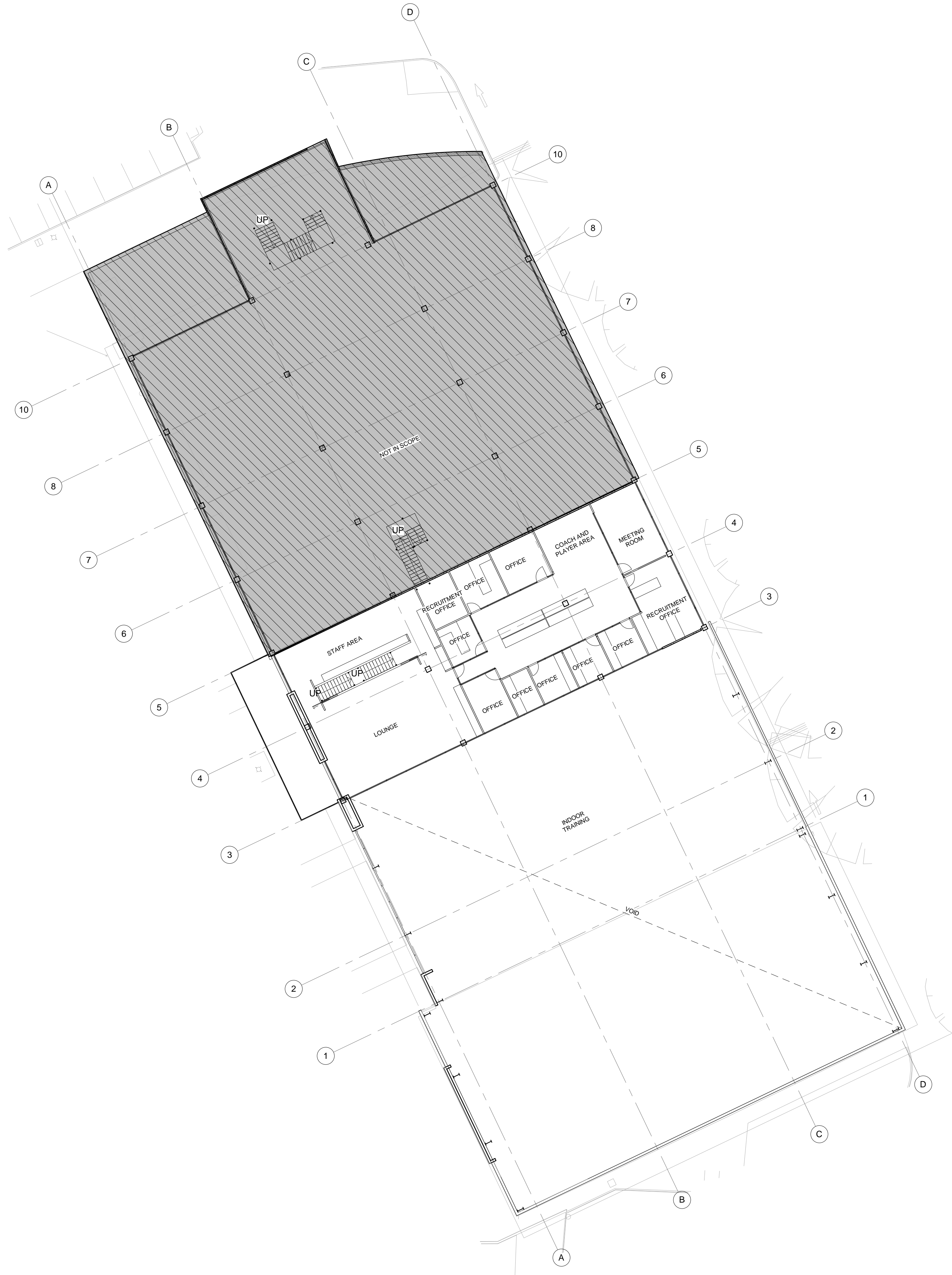
Drawing Title  
**GROUND FLOOR  
EXISTING FLOOR PLAN**

Drawn By BS	Checked By LG	Scale @ A1 1 : 200
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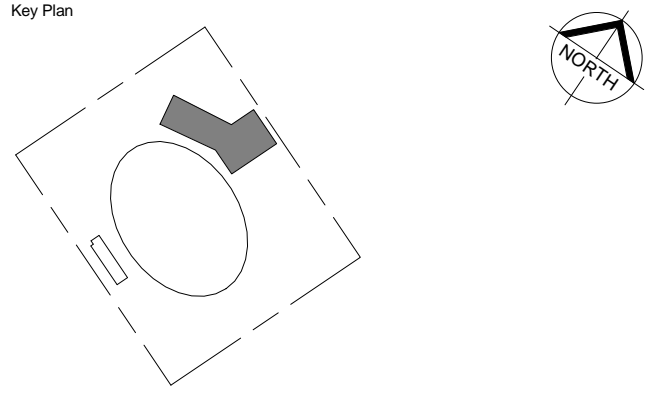
Project No. 32025	Drawing No. DA200	Revision 3
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Status  
**DEVELOPMENT APPROVAL**





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3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

Brougham Pl, Alberton SA 5014

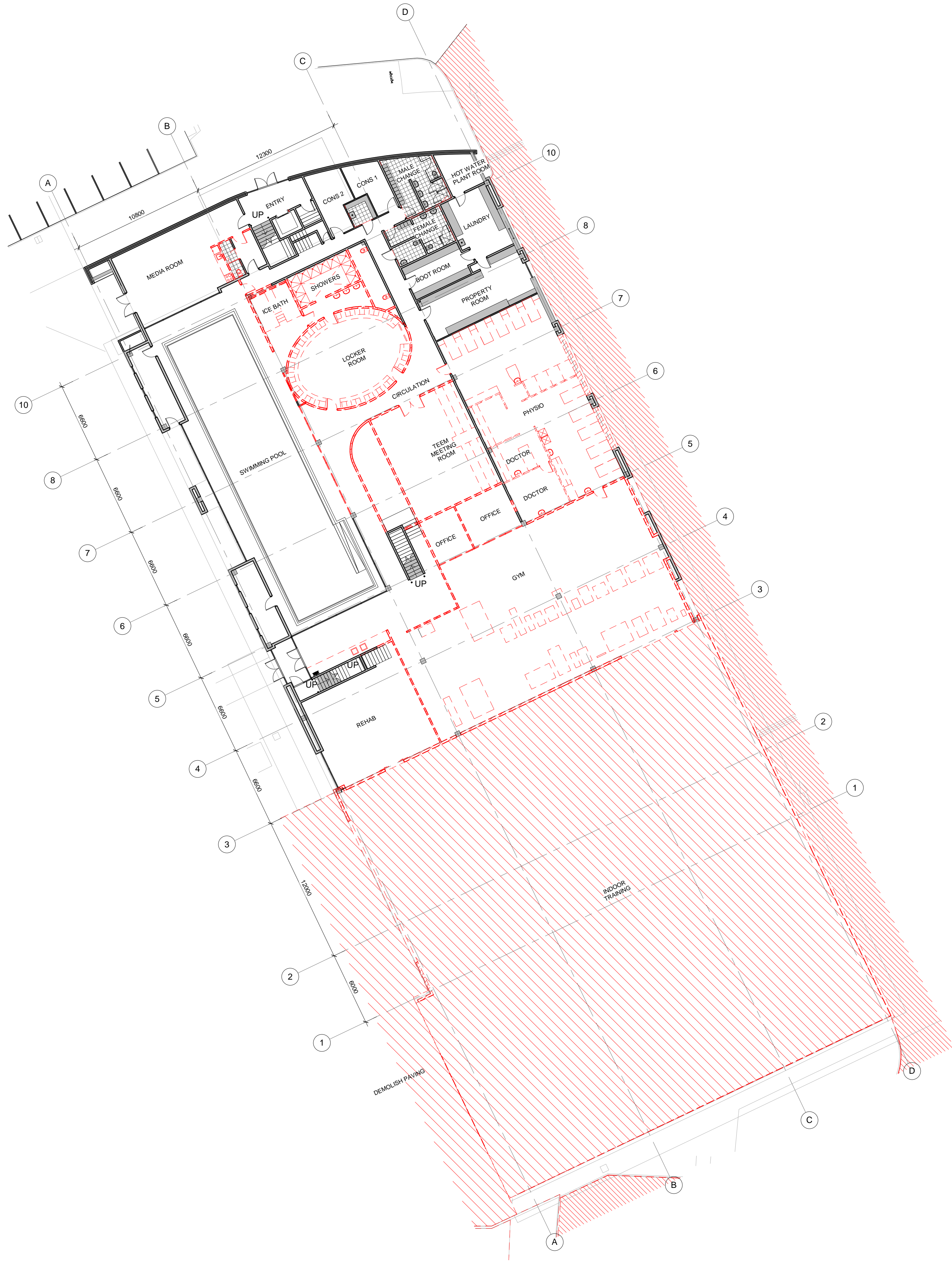
Drawing Title  
**LEVEL 1  
EXISTING FLOOR PLAN**

Drawn By BS	Checked By LG	Scale @ A1 1 : 200
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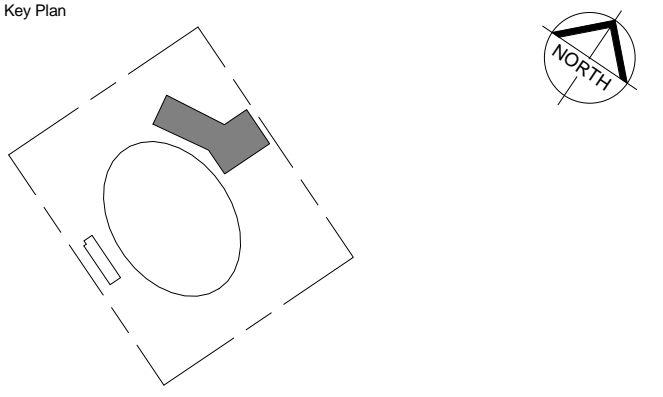
Project No. <b>32025</b>	Drawing No. <b>DA201</b>	Revision <b>3</b>
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Status  
**DEVELOPMENT APPROVAL**





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- Demolish
- Demolish Tree

- DEMOLITION NOTES
- COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE.
  - EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
  - ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP FACILITATE NEW BUILDING CONNECTIONS.
  - ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
  - ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT.
  - ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
  - EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
  - THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE. THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
  - REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
  - UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
  - MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
  - CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION.
  - WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
  - FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
  - THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
  - MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
  - PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL.
  - WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED.
  - ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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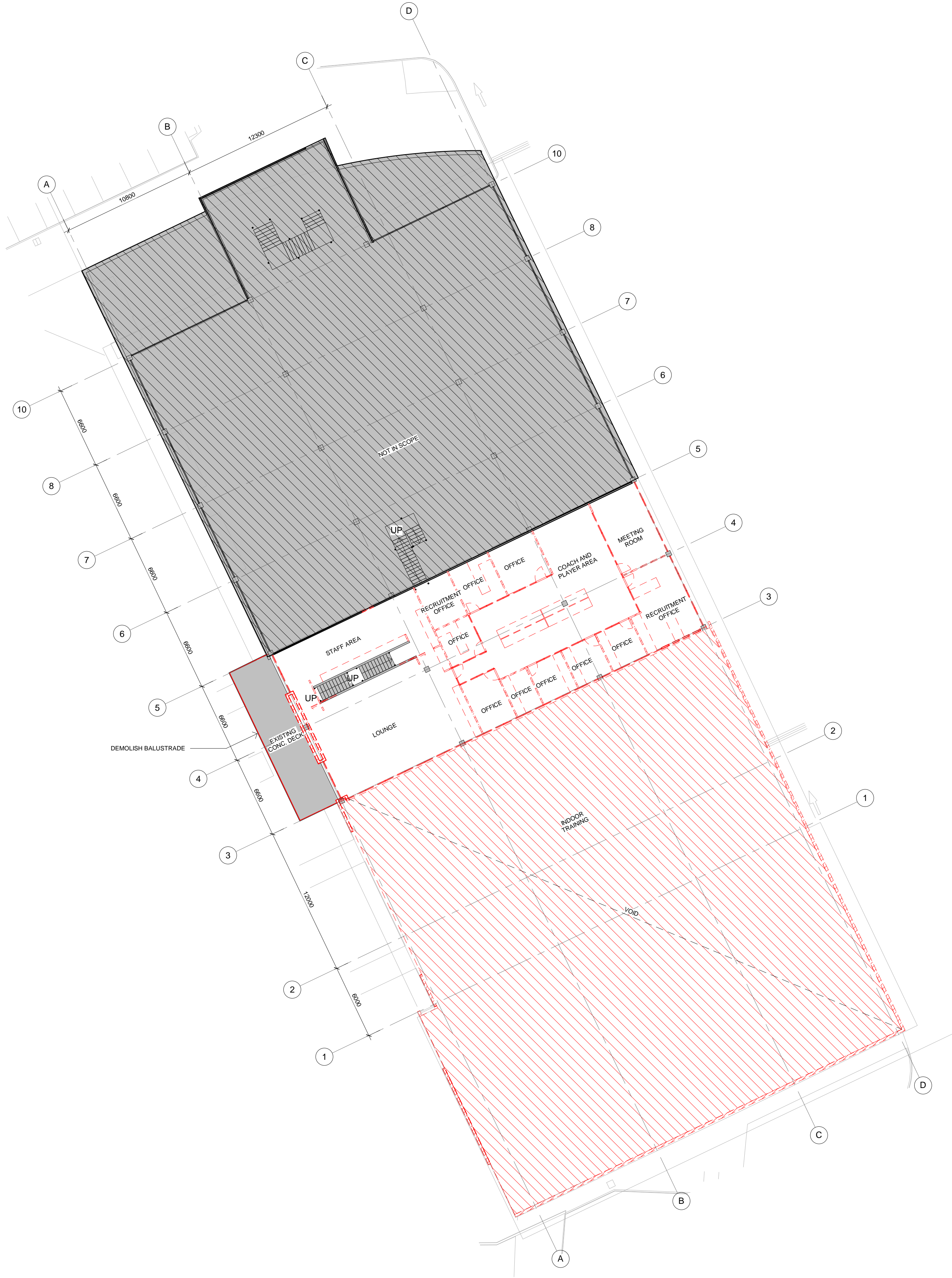
Project  
ASHQ

Brougham PI, Alberton SA 5014

Drawing Title  
**GROUND FLOOR  
DEMOLITION PLAN**

Drawn By BS	Checked By LG	Scale @ A1 As indicated
Project No. 32025	Drawing No. DA210	Revision 3
Status DEVELOPMENT APPROVAL		





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ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.

Key Plan

Demolish

Demolish Tree

- DEMOLITION NOTES
1. COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE.
  2. EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
  3. ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP/ACUTATE NEW BUILDING CONNECTIONS.
  4. ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
  5. ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT.
  6. ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
  7. EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
  8. THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE.
  9. THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
  10. REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
  11. UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
  12. MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
  13. CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION.
  14. WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
  15. FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
  16. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
  17. MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
  18. PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL.
  19. WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED.
  20. ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project  
**ASHQ**

Brougham PI, Alberton SA 5014

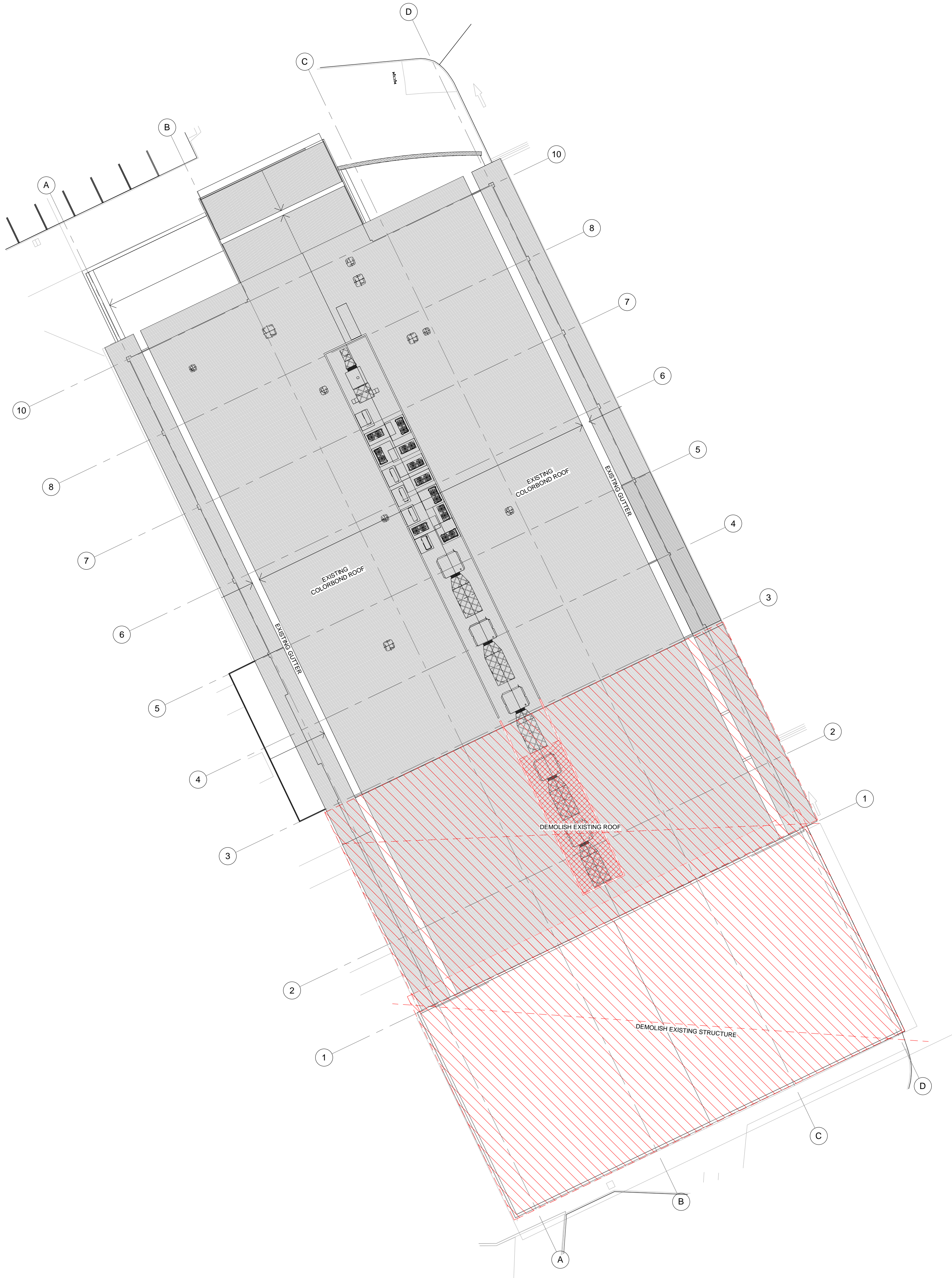
Drawing Title  
**LEVEL 1  
DEMOLITION PLAN**

Drawn By	Checked By	Scale @ A1
BS	LG	As indicated

Project No.	Drawing No.	Revision
<b>32025</b>	<b>DA211</b>	<b>3</b>

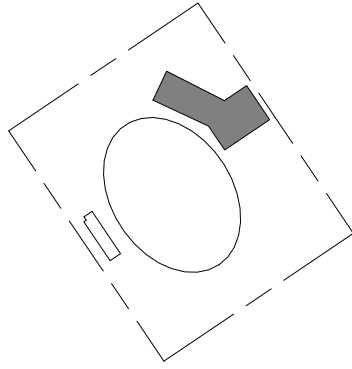
Status  
**DEVELOPMENT APPROVAL**





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ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.

Key Plan



Demolish



Demolish Tree

DEMOLITION NOTES

1. COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE
2. EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
3. ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP FACILITATE NEW BUILDING CONNECTIONS.
4. ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
5. ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT
6. ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
7. EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
8. THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE.
9. THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
10. REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
11. UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
12. MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
13. CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION
14. WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
15. FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
16. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
17. MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
18. PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL
19. WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED
20. ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project  
**ASHQ**

Brougham PI, Alberton SA 5014

Drawing Title  
**DEMOLITION  
ROOF PLAN**

Drawn By	Checked By	Scale @ A1
BS	LG	As indicated

Project No.	Drawing No.	Revision
<b>32025</b>	<b>DA212</b>	<b>3</b>

Status

**DEVELOPMENT APPROVAL**





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#### OVERALL ROOM SCHEDULE

Area	Name
Changeroom	
4 m²	Cln.
19 m²	ICE BATH AREA
186 m²	Changeroom
Entry	
67 m²	Access
74 m²	Existing Access
11 m²	Entry
8 m²	Circulation
Building	
251 m²	Pool
15 m²	Boot Store
21 m²	Uniform Store
11 m²	Female
4 m²	UAT
18 m²	Male
11 m²	Store
13 m²	Store
4 m²	Cln.
9 m²	Loading
20 m²	Level 1 Entry
14 m²	Store
13 m²	Store
36 m²	Room
942 m²	Existing Offices
Gym	
340 m²	Gym
7 m²	UAT
12 m²	Store
13 m²	Store
Indoor Training	
1143 m²	Basketball
1104 m²	Indoor Training
Lecture	
66 m²	Lecture
Offices	
40 m²	Kitchen
112 m²	Office
21 m²	Meet 02
21 m²	Meet 01
12 m²	Office
12 m²	Office
12 m²	Office
20 m²	Office
21 m²	Meet 03
Physio	
136 m²	Physio/Strapping
9 m²	Physio
8 m²	Doc.
8 m²	Doc.
9 m²	Store
Players Lounge	
104 m²	Dining
29 m²	Kitchen
59 m²	Lounge
105 m²	Study
17 m²	Study 01
18 m²	Study 02
21 m²	Study 03
56 m²	Recovery
8 m²	UAT
Soccer Changerooms	
48 m²	Change 02
7 m²	MED
48 m²	Change 01
7 m²	MED.
6 m²	UAT
3 m²	Uni
3 m²	Uni
21 m²	Store
7 m²	A/L
11 m²	Entry
Store	
59 m²	Store
5511 m²	

8 GFA (includes existing area not in scope)		
7	10/05/21	LG For Development Approval
6	19/02/21	LG Soccer Pitch Fence Revision
5	08/01/20	LG Issue to Consultants
4	14/12/20	LG For Information
3	14/12/20	LG Revised Fire Exit Strategy
2	14/12/20	LG Revised Entry/Gym/Physio
1	19/11/20	LG Aligned to CAD's and Survey
1	13/11/20	LG For Information
Rev.	Date	Initial Description
Client		



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Project  
**ASHQ**

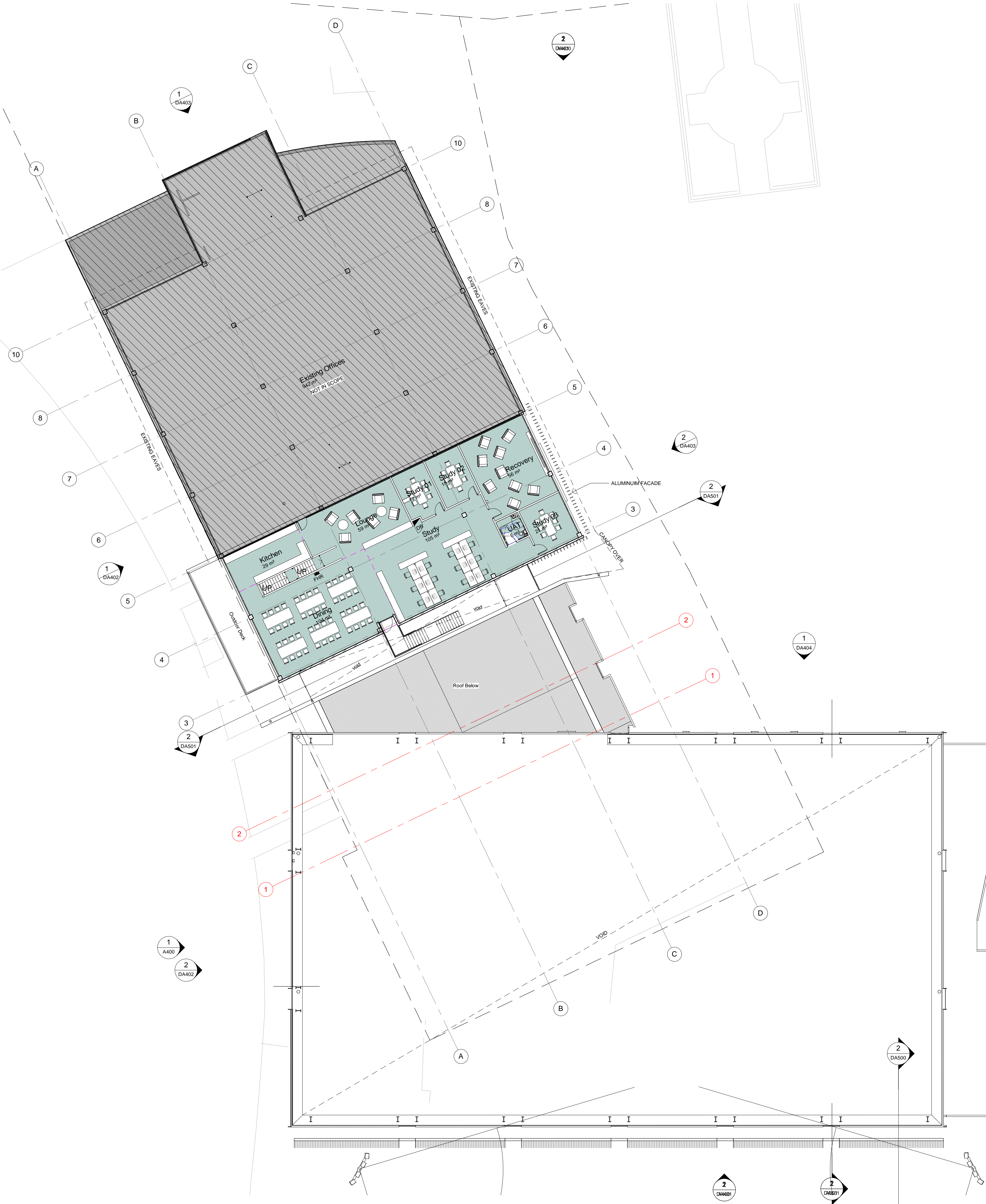
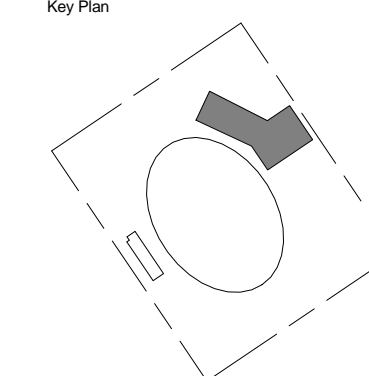
Brougham Pl, Alberton SA 5014

Drawing Title  
**FLOOR PLAN  
PROPOSED**

Drawn By	Checked By	Scale @ A1
BS	LG	1 : 200
Project No.	Drawing No.	Revision
32025	DA220	8

Status  
**DEVELOPMENT APPROVAL**





4	10/05/21	LG	For Development Approval
3	14/12/20	LG	For Information
2	14/12/20	LG	Revised Entry/Gym/Physio
1	19/11/20	LG	Aligned to CAD's and Survey
<b>Rev.</b>	<b>Date</b>	<b>Initial</b>	<b>Description</b>

Rev.  
Client



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Project  
ASHQ

Brougham Pl, Alberton SA 5014

Drawing Title  
LEVEL 1  
PROPOSED

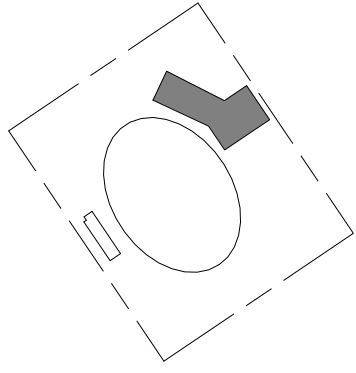
Drawn By BS	Checked By LG	Scale @ A1 1 : 200
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Project No.	Drawing No.	Revision
32025	DA221	4

Status  
DEVELOPMENT APPROVAL



Key Plan



Demolish



DEMOLITION NOTES

1. COMPLETE FULLY DILAPITATION REPORT OF SITE, SURROUNDING BUILDINGS, KERBS, CROSS OVERS, FOOTPATHS, IMMEDIATE ROAD SURFACES SURROUNDING THE SITE, VEGETATION, MULCH LEVELS, IRRIGATION SYSTEMS, ALL EXTERNAL SERVICES, ALL BUILDING SERVICES, ALL BUILDING INTERFACES, ALL WALLS, CEILINGS, FLOORING, ROOF SHEETING, FLASHINGS, DOWN PIPES, GUTTERS AND SUMPS, ROOF ACCESS, PAVING AND SURROUNDING BUILDING SURFACES. REPORT TO BE CIRCULATED TO CLIENT, PROJECT MANAGER AND CONSULTANT TEAM FOR ANY REQUIRED COMMENTS PRIOR TO ANY WORKS COMMENCING ON SITE.
2. EXTENT OF BUILDING / STRUCTURE TO BE DEMOLISHED SHOWN IN RED.
3. ALLOW FOR STRIPPING BACK EXISTING STRUCTURE TOP FACILITATE NEW BUILDING CONNECTIONS.
4. ALL DEMOLITION WORKS SUBJECT TO OPENING UP WORKS. ALLOWANCE TO BE MADE FOR DISCOVERY OF UNFORESEEN STRUCTURE.
5. ALL WORKS SUBJECT TO STRUCTURAL ENGINEER DESIGN & DETAIL AND SPECIALIST SUB-CONTRACTOR METHOD STATEMENT.
6. ALLOW FOR BREAKING UP AND REMOVAL FROM SITE ANY CONCRETE FOOTINGS OR STRUCTURE NO LONGER REQUIRED.
7. EXTENT OF EXISTING ROOF & STRUCTURE TO BE CUT BACK TO BE CONFIRMED ON SITE.
8. THE BUILDER IS TO DEMOLISH EXISTING STRUCTURE TO EXTENT SHOWN ON THE DOCUMENTS. REMOVE ALL MATERIALS NOT TO BE RE-USED UNLESS NOTED OTHERWISE.
9. THE BUILDER SHALL ALSO REFER TO OTHER CONTRACT DOCUMENTS, STAGING PROGRAM, REGULATIONS, CODES OF PRACTICE, ETC. IN REGARD TO THE EXTENT AND MANNER IN WHICH THE DEMOLITION IS TO BE CARRIED OUT.
10. REFER TO RELEVANT ENGINEER'S DRAWINGS FOR CAPPING & SEALING OF REDUNDANT EXISTING SERVICES. SERVICES TO BE CUT AND SEALED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
11. UNLESS NOTED OTHERWISE ALL EXISTING CONCRETE SLABS TO BE PROTECTED AND TO REMAIN. ITEMS TO BE DEMOLISHED INCLUDE BUT ARE NOT LIMITED TO FLOOR FINISHES, FIXTURES, REDUNDANT SERVICES, EXTERNAL & INTERNAL WALLS, COLUMN BOVING, SHOPFRONTS, CEILINGS, ROOFS AND ASSOCIATED STRUCTURE.
12. MAKE GOOD TO ALL SURFACES AFTER DEMOLITION HAS TAKEN PLACE IN PREPARATION FOR NEW FINISHES TO BE APPLIED. ALLOW FOR SCABBLING AND/OR TO APPLY APPROVED FLOOR LEVELLER TO EXISTING SLAB SURFACES IN PREPARATION FOR NEW FLOOR FINISHES.
13. CONTRACTORS TO INSPECT & CHECK ON SITE PRIOR TO DEMOLITION.
14. WATERPROOFING OF BUILDING TO BE MAINTAINED DURING ALL PHASES OF WORK INCLUDING THE REMOVAL OF THE FACADE.
15. FOR INFORMATION ON OR ABOUT EXISTING SERVICES REFER RELEVANT CONSULTANTS DWGS.
16. THIS DRAWING TO BE READ IN CONJUNCTION WITH SITE SURVEY, STRUCTURAL, CIVIL AND SERVICES ENGINEERS DOCUMENTATION.
17. MAKE GOOD OR PROVIDE NEW AS REQUIRED TO ALL EXISTING ADJOINING SURFACES TO BE RETAINED, THAT ARE AFFECTED BY THE WORKS.
18. PROVIDE TEMPORARY PROPPING WHERE REQUIRED TO STABILISE EXISTING STRUCTURE, SERVICES AND INFRASTRUCTURE. ALL PROPPING TO BE TO STRUCTURAL ENGINEER'S APPROVAL.
19. WHERE EXISTING BUILDING FABRIC BEING INTERRUPTED PROVIDE TEMPORARY SECURE AND WEATHER RESISTANT HOARDING INFILL WHERE VISIBLE FROM PUBLICLY ACCESSIBLE AREAS HOARDING TO BE HIGH QUALITY SOLID LINED.
20. ALL DEMOLITION UNDERTAKEN TO COMPLY WITH AS 2601.

TAG	DESCRIPTION
CSP001	KS1000 Trapezoidal Wall Panel, COLORBOND MONUMENT
RFS002	PROFIED PLASTIC ROOF SHEETING (DANPALON ETC)

6	10/05/21	LG	For Development Approval
5	29/04/21	LG	Acoustic Screen
4	08/01/20	LG	Issue to Consultants
3	14/12/20	LG	For Information
2	14/12/20	LG	Revised EntryGymPhysio
1	19/11/20	LG	Aligned to CAD's and Survey
Rev.	Date	Initial	Description

Client



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Project

ASHQ

Brougham Pl, Alberton SA 5014

Drawing Title

ROOF PLAN

Drawn By  
BS

Checked By  
LG

Scale @ A1  
As indicated

Project No.  
32025

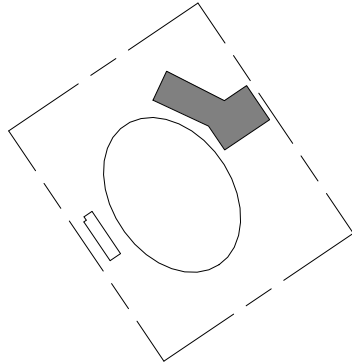
Drawing No.  
DA230

Revision  
6

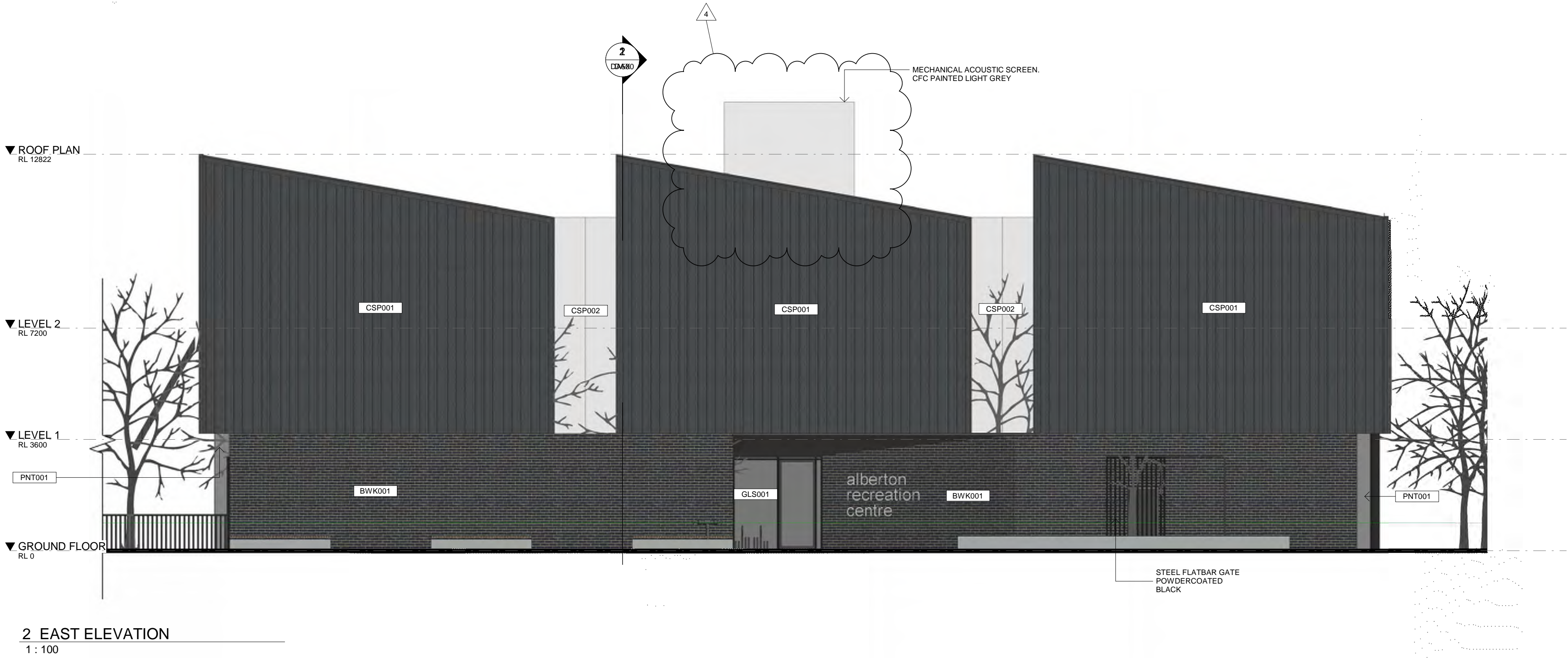
Status  
DEVELOPMENT APPROVAL



Key Plan



TAG	DESCRIPTION
BWK001	DARK BRICK
CSP001	KS1000 Trapezoidal Wall Panel, COLORBOND MONUMENT
CSP002	TRANSLUCENT WALL PANEL SYSTEM
EXH001	RELIEF AIR LOUVRES
GLS001	CLEAR VISION GLAZING
LVR001	WEATHERPROOF LOUVRES (STD SINGLE BANK)



5	10/05/21	LG	For Development Approval
4	29/04/21	LG	Acoustic Screen
3	14/12/20	LG	For Information
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

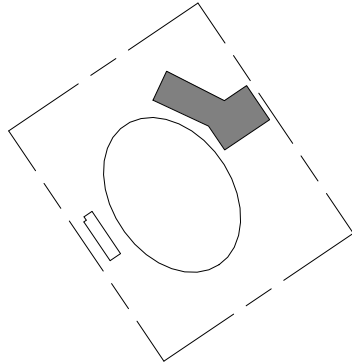
Brougham PI, Alberton SA 5014

Drawing Title  
ELEVATIONS

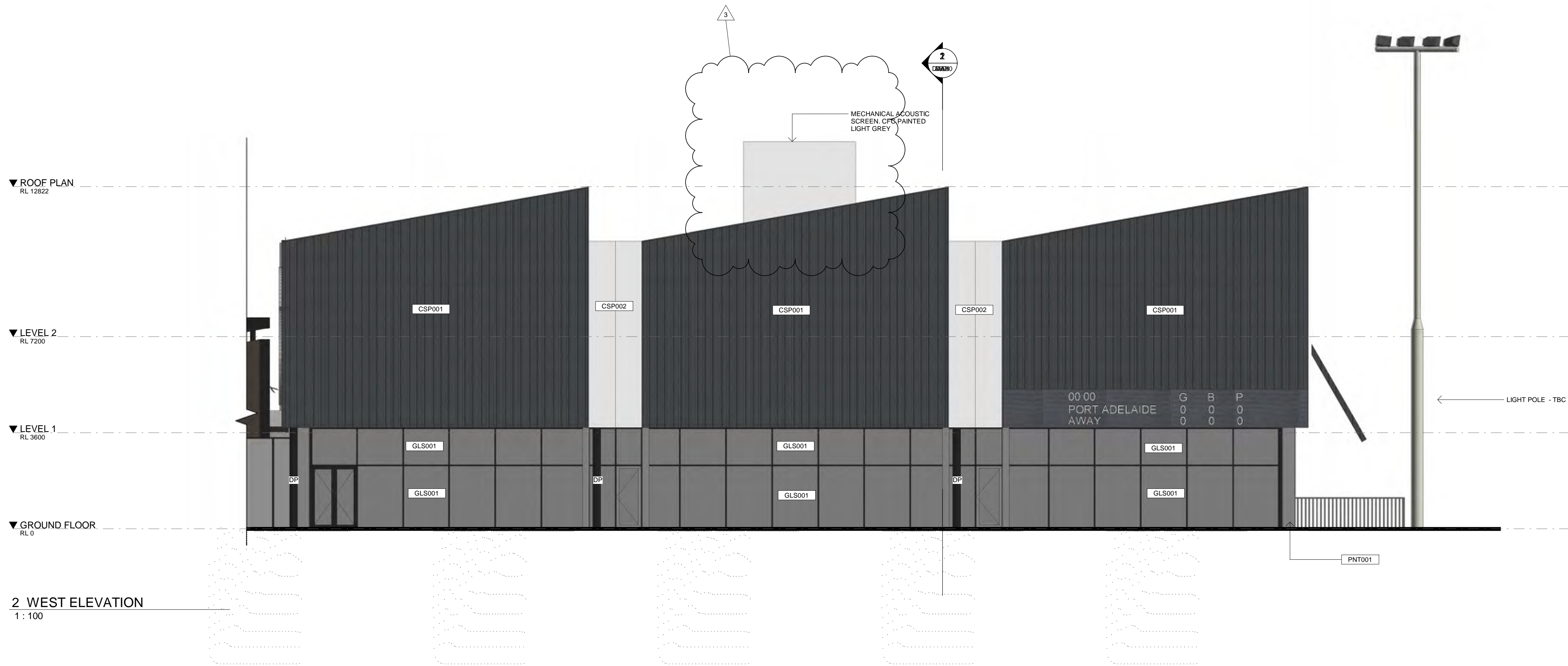
Drawn By	Checked By	Scale @ A1
BS	LG	1 : 100
Project No.	Drawing No.	Revision
32025	DA401	5
Status	DEVELOPMENT APPROVAL	



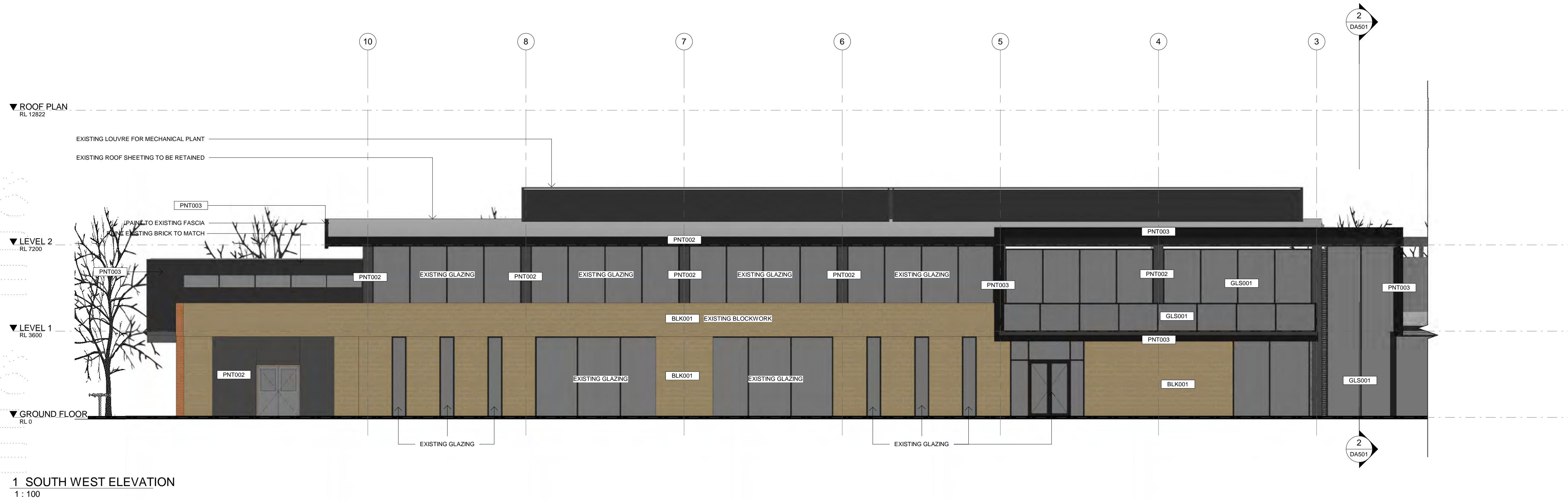
Key Plan



TAG	DESCRIPTION
BLK001	EXISTING CREAM BLOCKWORK
CSP001	KS1000 Trapezoidal Wall Panel, COLORBOND MONUMENT
CSP002	TRANSLUCENT WALL PANEL SYSTEM
GLS001	CLEAR VISION GLAZING



2 WEST ELEVATION  
1 : 100



1 SOUTH WEST ELEVATION  
1 : 100

4	10/05/21	LG	For Development Approval
3	29/04/21	LG	Acoustic Screen
2	09/01/20	LG	Issue to Consultants
1	14/12/20	LG	For Information
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

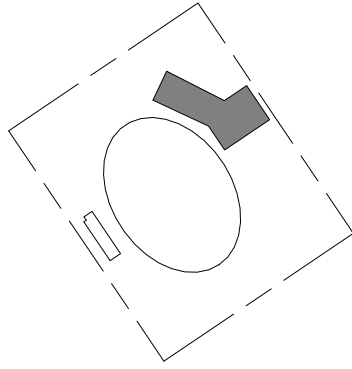
Brougham PI, Alberton SA 5014

Drawing Title  
ELEVATIONS

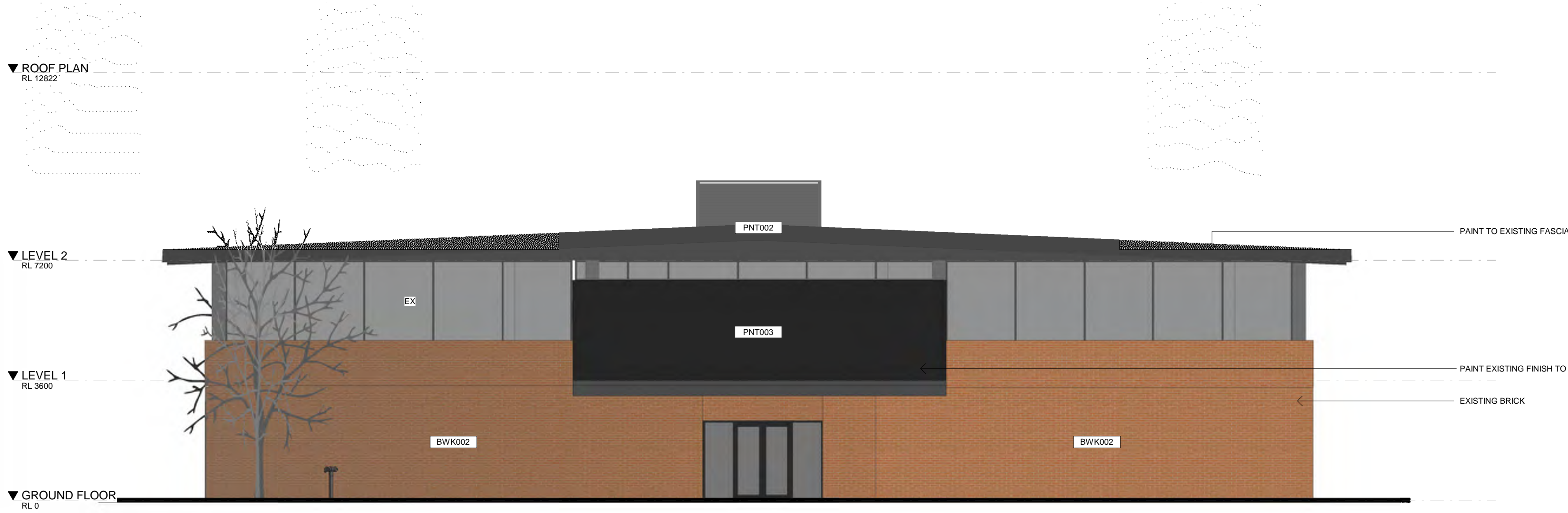
Drawn By BS	Checked By LG	Scale @ A1 1 : 100
Project No. 32025	Drawing No. DA402	Revision 4
Status DEVELOPMENT APPROVAL		



Key Plan



TAG	DESCRIPTION
BLK001	EXISTING CREAM BLOCKWORK
BWK001	DARK BRICK
BWK002	EXISTING RED BRICK
CPW001	TIMBER CLADDING
CSS001	TERRACOTTA FACADE PANELS
GLS001	CLEAR VISION GLAZING



1 NORTH WEST ELEVATION  
1 : 100



2 NORTH EAST ELEVATION  
1 : 100

3	10/05/21	LG	For Development Approval
2	14/12/20	LG	For Information
1	14/12/20	LG	Revised EntryGymPhysio
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

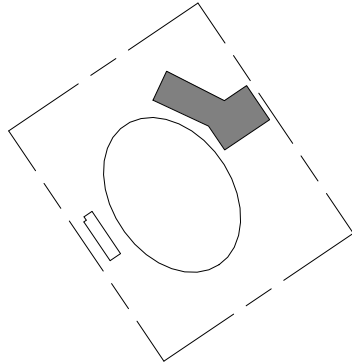
Brougham PI, Alberton SA 5014

Drawing Title  
ELEVATIONS

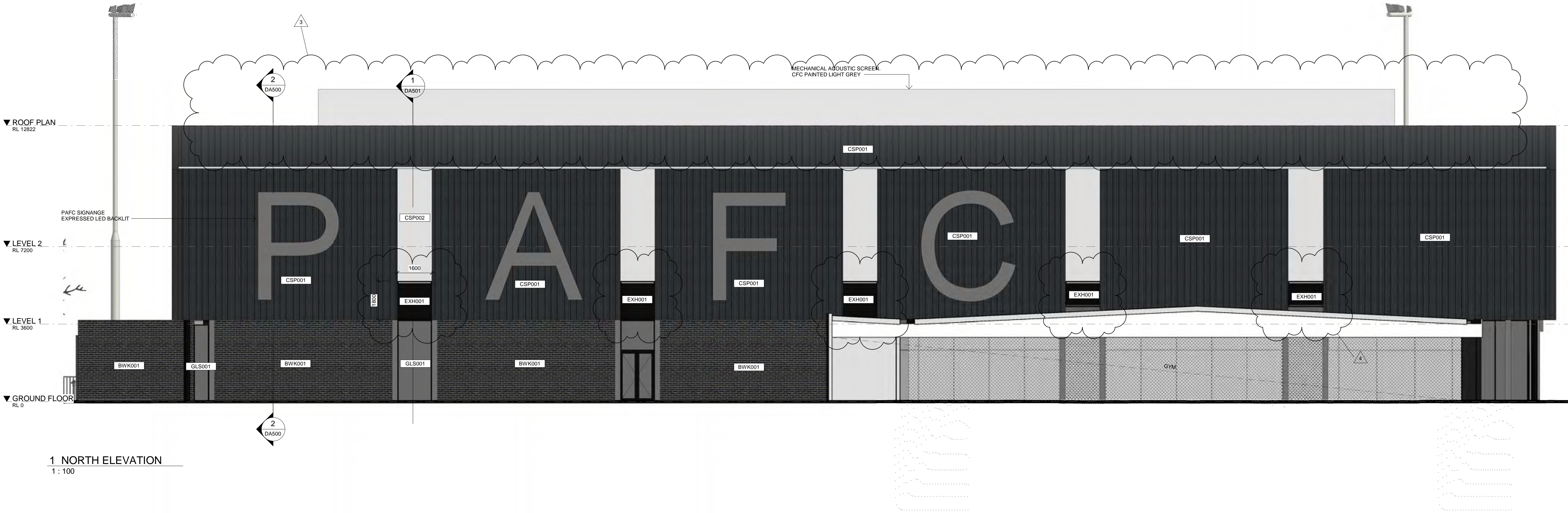
Drawn By BS	Checked By LG	Scale @ A1 1 : 100
Project No. 32025	Drawing No. DA403	Revision 3
Status DEVELOPMENT APPROVAL		



Key Plan



TAG	DESCRIPTION
BWK001	DARK BRICK
CSP001	INSULATE ROOF + WALL PANEL, VERTICAL SEAMED
CSP002	METAL IN DARK GREY
CSP002	TRANSLUCENT WALL PANEL SYSTEM
EXH001	RELIEF AIR LOUVRES
GLS001	CLEAR VISION GLAZING



1 NORTH ELEVATION  
1:100

4	10/05/21	LG	For Development Approval
3	29/04/21	LG	Acoustic Screen
2	14/12/20	LG	For Information
1	14/12/20	LG	Signage
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

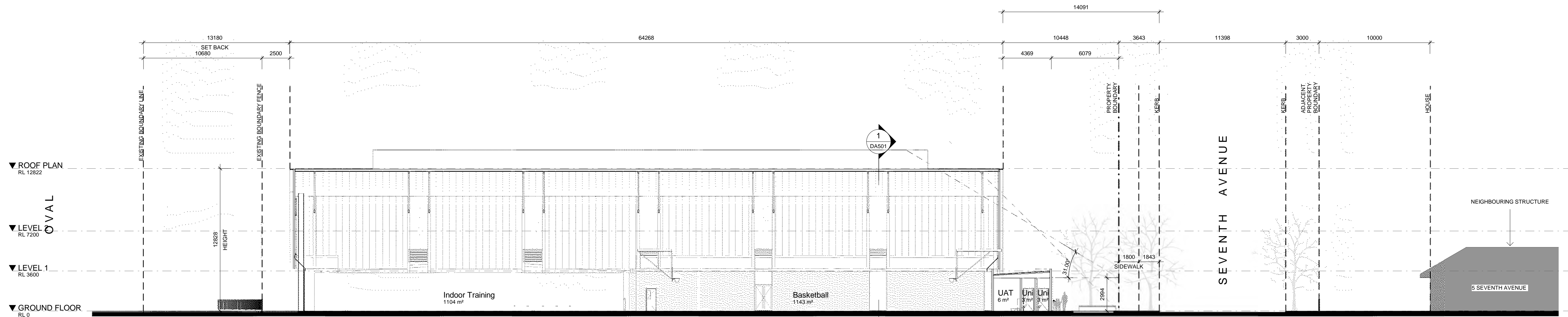
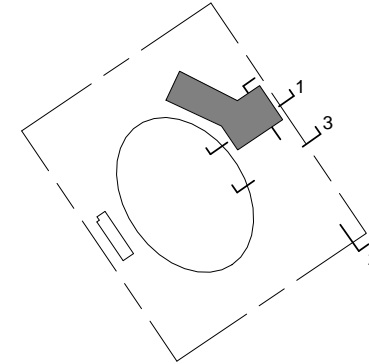
Brougham PI, Alberton SA 5014

Drawing Title  
ELEVATIONS

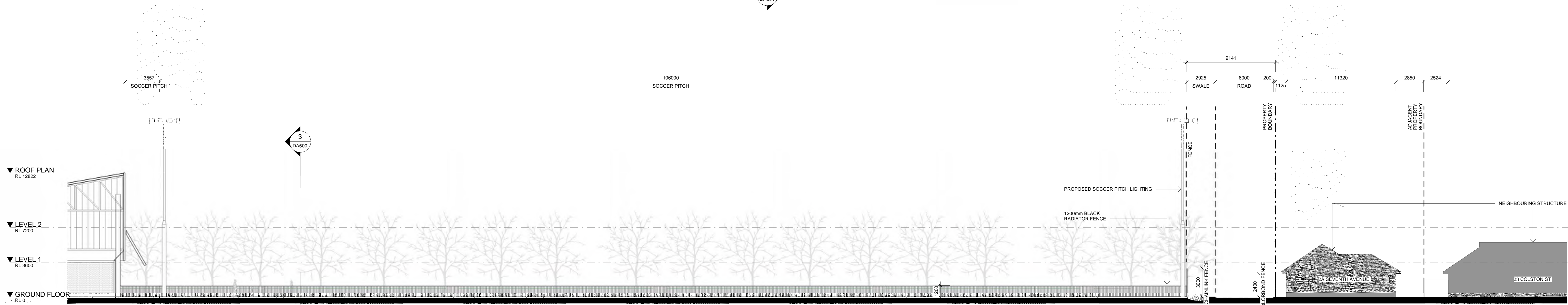
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Project No. 32025	Drawing No. DA404	Revision 4
Status DEVELOPMENT APPROVAL		



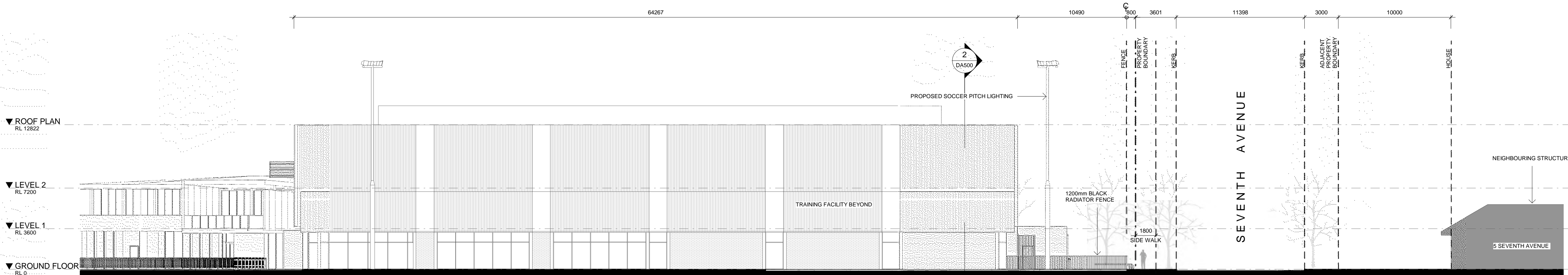
Key Plan



1 SECTION 01.  
A220 1 : 200



2 SECTION 02  
A220 1 : 200



3 SECTION 03  
DA120 1 : 200

7	10/05/21	LG	For Development Approval
6	03/03/21	LG	Fence Amendments
5	19/02/21	LG	Soccer Pitch Fence Revision
4	18/02/21	LG	For Development Approval
3	14/12/20	LG	For Information
2	19/11/20	LG	Aligned to CAD's and Survey
1	13/11/20	LG	For Information
Rev.	Date	Initial	Description

Client



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Project  
**ASHQ**

Brougham Pl, Alberton SA 5014

Drawing Title  
**SECTION**

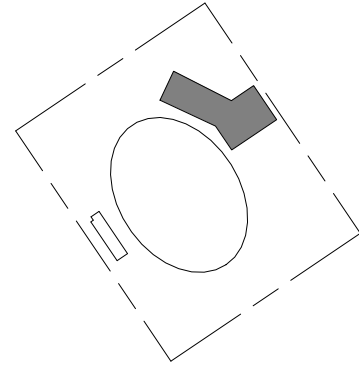
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Project No. 32025	Drawing No. DA500	Revision 7
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Status  
**DEVELOPMENT APPROVAL**



Key Plan



TAG	DESCRIPTION
BWK001	DARK BRICK
CPW001	TIMBER CLADDING
CSP001	KS1000 Trapezoidal Wall Panel, COLORBOND MONUMENT
CSP002	TRANSLUCENT WALL PANEL SYSTEM
EXH001	RELIEF AIR LOUVRES
GLS001	CLEAR VISION GLAZING

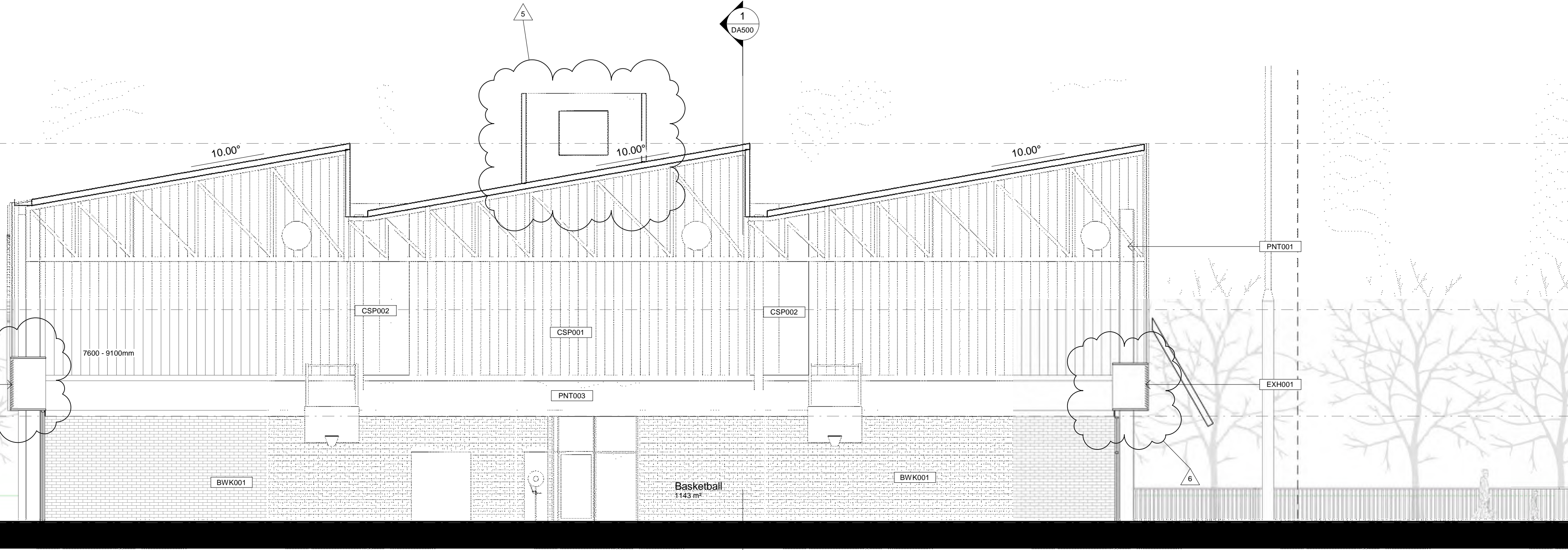
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RL 12822

▼ LEVEL 2  
RL 7200

▼ LEVEL 1  
RL 3600

▼ GROUND FLOOR  
RL 0

1 SECTION 02.  
A220 1 : 100



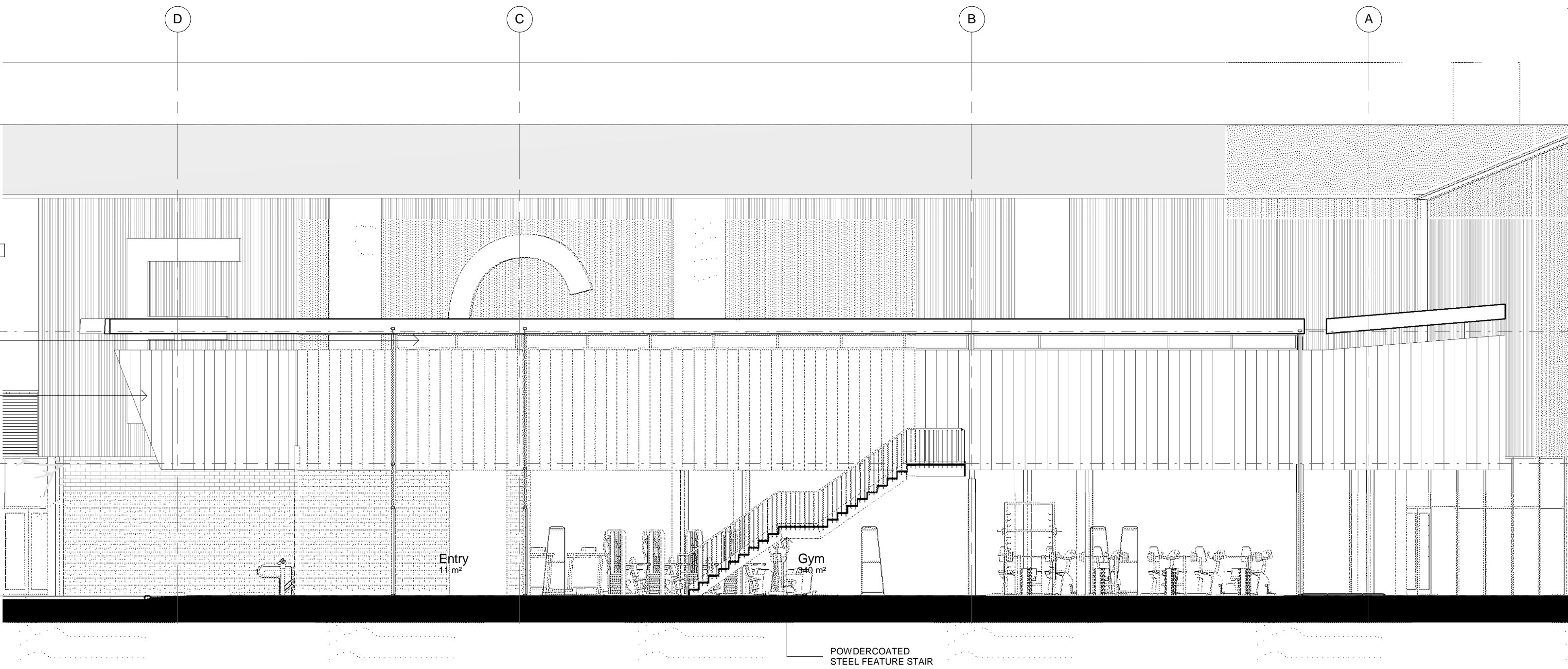
▼ ROOF PLAN  
RL 12822

▼ LEVEL 2  
RL 7200

▼ LEVEL 1  
RL 3600

▼ GROUND FLOOR  
RL 0

2 SECTION 03  
A220 1 : 100



6	10/05/21	LG	For Development Approval
5	29/04/21	LG	Acoustic Screen
4	03/03/21	LG	Fence Amendments
3	08/01/20	LG	Issue to Consultants
2	14/12/20	LG	Revised High Level Ventilation and Day Lighting
1	14/12/20	LG	Revised Entry/Gym/Physio
Rev.	Date	Initial	Description

Client



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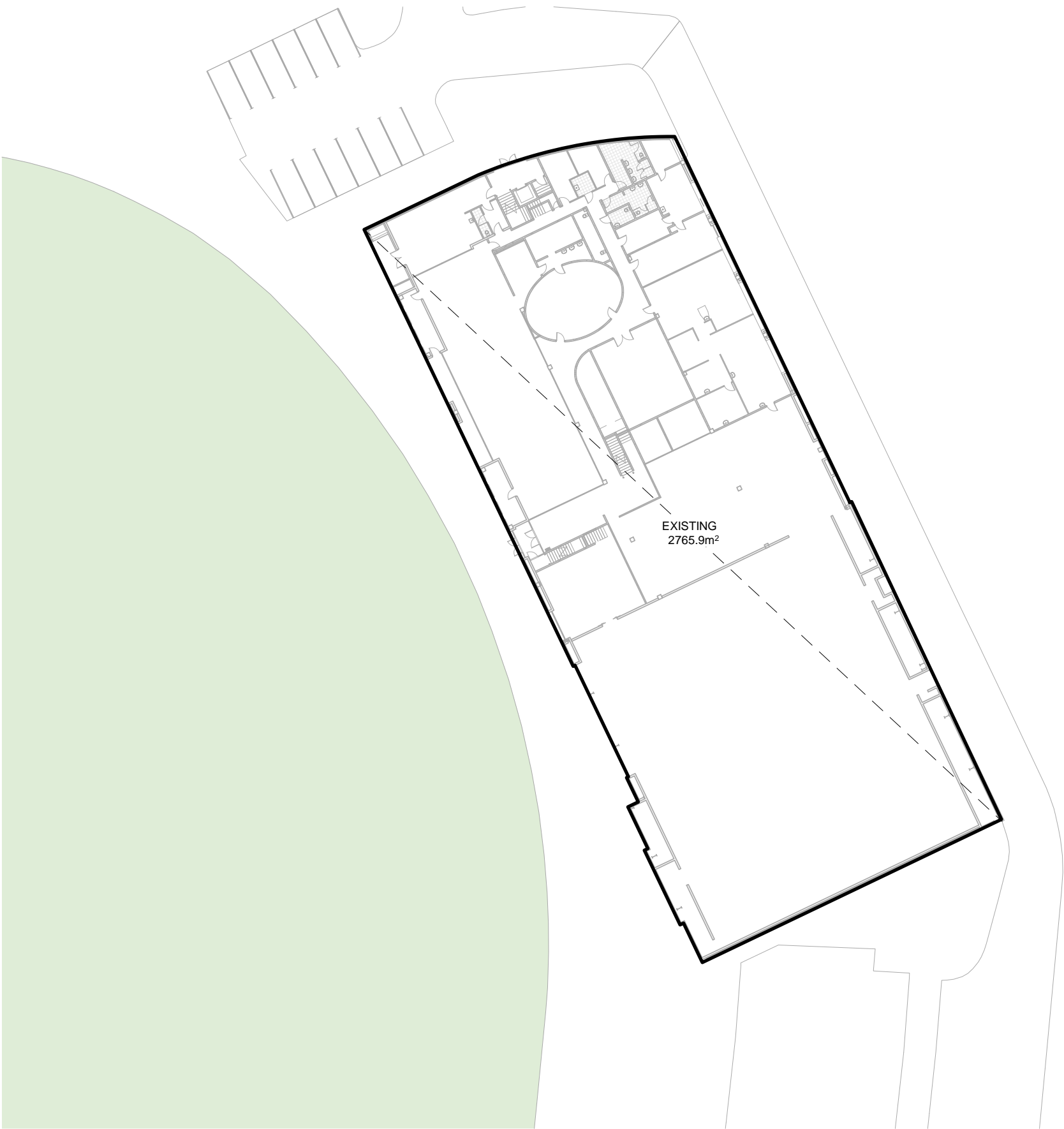
Project  
ASHQ

Brougham PI, Alberton SA 5014

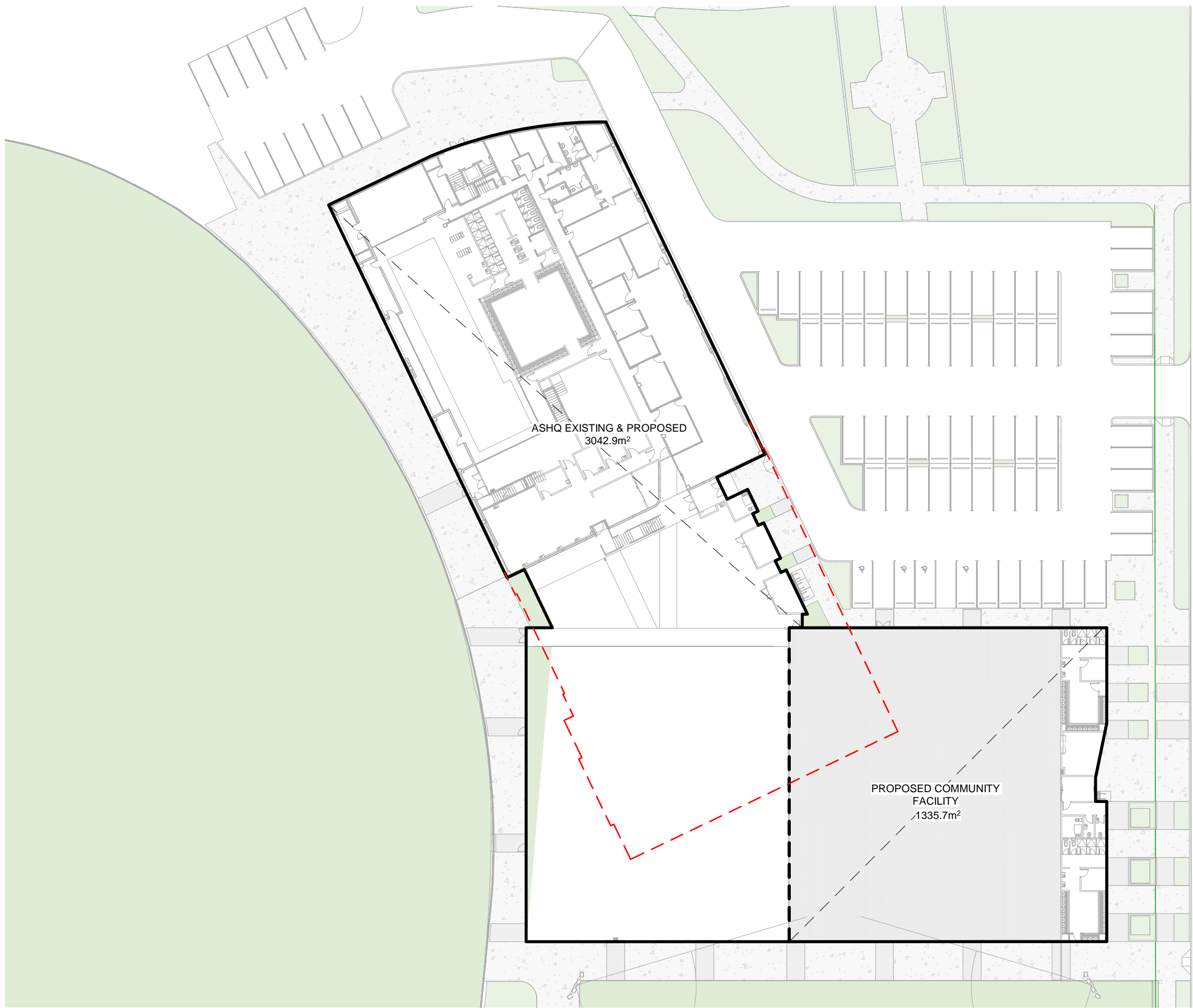
Drawing Title  
SECTION

Drawn By BS	Checked By LG	Scale @ A1 1 : 100
Project No. 32025	Drawing No. DA501	Revision 6
Status DEVELOPMENT APPROVAL		



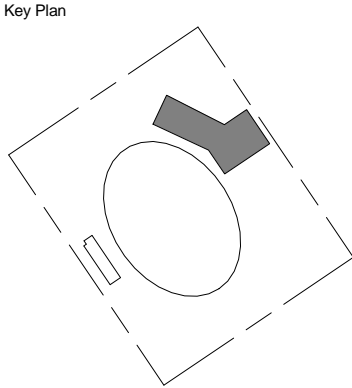


2 GROUND FLOOR - Existing Overall  
1 : 500



1 GROUND FLOOR - Existing + Proposed Overall  
1 : 500

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED.  
ALL DIMENSIONS TO BE VERIFIED AND CHECKED ON SITE.



AREA	
EXISTING ASHQ	2765.9m²

ASHQ EXISTING & PROPOSED	3042.9m²
Proposed upgrade equates to 10% increase of the existing ASHQ built area.	
PROPOSED COMMUNITY FACILITY	1335.7m²
TOTAL	4378.6m²
Proposed development equates to 58% increase of the existing built area.	

2	10/05/21	LG	For Development Approval
1	03/03/21	LG	Area Plans
Rev.	Date	Initial	Description

Client



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Project  
ASHQ

Brougham PI, Alberton SA 5014

Drawing Title  
AREA PLAN

Drawn By	Checked By	Scale @ A1
BS	LG	1 : 500
Project No.	Drawing No.	Revision
32025	DA1001	2
Status DEVELOPMENT APPROVAL		